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PROJECT DESCRIPTION / DESIGN INTENT:

FILING 13 CONCEPT PLAN

Filing 13 is proposed as the second 'for sale' neighborhood within the Primary Lifestyle Village. This approximately 130.4 acre parcel is located immediately north of Indian Peaks Parkway and will offer a mix of single family residential homes on 70' x 120' and 80' x 120' lots.

SINGLE-FAMILY HOUSING

Filing 13, will be accessed from Indian Peaks Parkway and have convenient access to the family oriented Community Park and Recreation Center. The single-family portion of Neighborhood 1 will have: a passive neighborhood park with a water feature, trails and picnic area; a pocket park with a playground structure and swings; and a system of open lands with trails that will connect Filing 13 to the surrounding community.

OPEN LANDS REQUIREMENT:

Open Space Requirements: 8 Acres / 1,000 Population

313 units x 3 people per unit = 939 population = 7.51 acres required
There is 0.00 acres of Open Space provided with this SDP*

Park Land Requirements: 16 Acres / 1,000 Population

313 units x 3 people per unit = 939 population = 15.02 acres required
There is 13.67 acres of Park Land provided with this SDP*

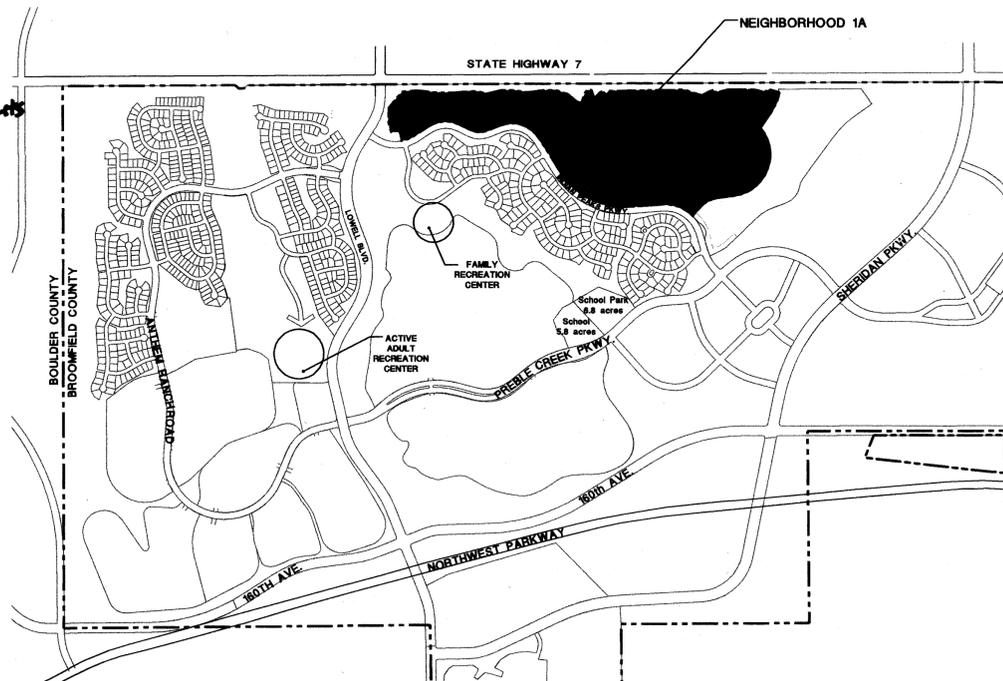
* Open lands will be provided for the Anthem PUD on a community wide basis not on an individual SDP basis. Some SDP's will include a surplus while others will include a deficit. The applicant will coordinate with the CCOB in providing a summary of all open lands.

DEVIATIONS CHART

Deviation being requested	Required Per PUD, BMC and/or Preble Ck. Design Guidelines	Allowed in Filing 13	Justification and/or Mitigation	Location on Site Plan
1. BUILDING ENCRoACHMENTS - REAR YARD SETBACK	No part of any structure, including overhangs, projecting windows, fireplaces, cantilevers or any part of a dwelling unit (except eaves, which may extend 12' into the setback) shall encroach into the rear yard setback.	Allow a 10-ft. encroachment for the rear yard deck, deck stairs and projecting windows of ranch-style floor plans.	Decks and projecting windows are elements that add visual interest to the rear elevations of homes are highly desired by consumers. Ranch-style homes, such as the Monarch and Frisco floor plans, create a variation in the streetscape but also utilize a greater amount of buildable area. Therefore, provision of a deck on a ranch-style home necessitates a rear yard encroachment.	A) Possible on all ranch-style home lots.

ANTHEM COLORADO AT BROOMFIELD FILING NO.13 NEIGHBORHOOD 1A SITE DEVELOPMENT PLAN

COVER SHEET SHEET 1 OF 32



PROJECT LOCATION MAP

NOT TO SCALE



OPEN LAND DEDICATIONS TO DATE PER FILING:

LAND USE	PLATTED ACREAGE PER FILING													Required per CCOB	% of Required Acreage Dedicated	
	PC 1	PC 2	1	2	3	4	5	6	7	8	9	12	13			Total
Total Parks	0.00	111.72	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5.36	4.38	9.13	13.67	144.26	53.14	271.47%
Total Open Space	0.00	15.56	0.00	0.00	0.00	0.00	0.00	8.43	0.00	0.00	19.68	27.29	0.00	70.96	26.57	267.07%
Total Unspecified Open Lands	1.54	0.00	0.00	1.77	0.00	0.00	0.00	0.00	0.00	8.71	63.34	7.71	11.63	94.70	0.00	100.00%
TOTAL	1.54	127.28	0.00	1.77	0.00	0.00	0.00	8.43	0.00	14.07	87.40	44.13	25.30	309.92	79.71	388.81%

DEVELOPMENT STATISTICS:

Areas: (Tracts and Outlots)	Land Use	Acres	Units	DU/AC
RESIDENTIAL	70' x 120' lots min. (40' wide homes)	48.45	156	
	80' x 120' lots min. (50' wide homes)	29.74	157	
	SUBTOTAL - Residential	78.19	313	4.00
TRACTS AND RIGHT-OF-WAY	Tract A Open Lands	0.13		
	Tract B Open Lands	2.19		
	Tract C Open Lands	0.06		
	Tract D Open Lands	1.75		
	Tract E Open Lands	9.74		
	Tract F Open Lands	0.08		
	Tract G Open Lands	0.43		
	Tract H Open Lands	3.93		
	Tract I Open Lands	3.52		
	Tract J Open Lands	2.21		
	Tract K Open Lands	0.16		
	Tract L Open Lands	0.08		
	Tract M Open Lands	0.31		
	Tract N Open Lands	0.70		
	Tract O Open Lands	0.01		
	Tract P Open Lands	0.01		
Tract Q Open Lands	0.01			
SUBTOTAL - Tracts	25.30			
Public ROW	26.95			
TOTAL - (Neighborhood 1)	130.44			

TRACT AND OUTLOT SUMMARY:

OUTLOTS/TRACTS	SQ.FT.	ACREAGE	USE CATEGORY	OWNERSHIP (CITY OR HOA)	OPEN LANDS DESCRIPTION/ ALLOCATION (AC.)			RESPONSIBLE FOR MAINTENANCE	
					PARKS	OPEN SPACE	OTHER OPEN LANDS	CITY	HOA / PRIVATE
Tract A	5,627	0.13	PuOS, UE	CITY			0.13	X	
Tract B	95,199	2.19	PuOS, DE, LE	CITY			2.19	X	
Tract C	2,426	0.06	PrOS, PRP, ID	HOA			0.06		X
Tract D	76,259	1.75	PuOS, DE, LE	CITY			1.75	X	
Tract E	424,407	9.74	PuOS, LE, PuPR	CITY	9.74			X	
Tract F	3,600	0.08	PrOS, DE	HOA			0.08		X
Tract G	18,912	0.43	PrOS, LE, PRP	HOA			0.43		X
Tract H	170,988	3.93	PuOS, LE, PuPR	CITY	3.93			X	
Tract I	153,207	3.52	PuOS, LE	CITY			3.52	X	
Tract J	96,186	2.21	PrOS, LE, PRP	HOA			2.21		X
Tract K	7,157	0.16	PrOS, PRP	HOA			0.16		X
Tract L	3,290	0.08	PrOS, LE	HOA			0.08		X
Tract M	13,711	0.31	PrOS, LE	HOA			0.31		X
Tract N	30,418	0.70	PrOS, LE, PRP	HOA			0.70		X
Tract O	214	0.01	PuOS	CITY			0.01	X	
Tract P	197	0.01	PuOS	CITY			0.01	X	
Tract Q	387	0.01	PuOS	CITY			0.01	X	
TOTAL	1,102,185	25.30			13.67	0.00	11.63		

Use Categories:

- Public Open Space (PuOS)
- Private Open Space (PrOS)
- School Park (SP)
- Drainage Easement (DE)
- Landscaped Entries (LE)
- Irrigated Drainage (ID)
- Utility Easement (UE)
- Other (please specify)
- Public Parks and Recreation (PuPR)
- Private (HOA) Park/Trail Corridor (PrP)
- Private Recreation Center (PrRC)

Note: See sheet 3, for location of tracts

APPROVALS

LAND USE REVIEW COMMISSION CERTIFICATE

This Site Development Plan is recommended for approval by the City and County of Broomfield Land Use Review Commission this 13th day of February, 2006.

J.P. Stahler
Chairman
Secretary

CITY COUNCIL CERTIFICATE

This Site Development Plan is hereby approved by the City Council of the City and County of Broomfield, Colorado on this 23rd day of May, 2006.

Tom Swain
Mayor
Wick Young
City Clerk



PROPERTY OWNER AND SUB DIVIDER:

Pulte Home Corporation Denver
2701 W. 160th Street Unit D
Broomfield, Colorado 80020
T: 303.404.9605
F: 303.604.6014

By: *W. Duhal*
State of Colorado
County of Douglas

The foregoing instrument was acknowledged before me this 27th day of June, 2006, by *Janice A. Chapman*. Witness my hand and official seal.
My Commission expires 10/31/2009.

JANICE A. CHAPMAN
NOTARY PUBLIC
STATE OF COLORADO
My Commission Expires 10/31/2009

LAND PLANNER / LANDSCAPE ARCHITECT:

SEC Planning Consultants
12357 Riata Trace Parkway, Suite A205
Austin, TX 78727
T: 512.246.7003
F: 512.246.7703

ENGINEER / SURVEYOR:

Carter & Burgess
707 17th Street, Suite 2300
Denver, CO 80202
T: 303.820.5276
F: 303.820.4842

ARCHITECT:

DTJ Design, Inc
1881 Ninth Street, Suite 103
Boulder, CO 80302
T:(303)443-7533
F:(303)443-7534

ADMINISTRATIVE MODIFICATION
CASE NUMBER 2007-76 APPROVED JULY 3, 2007 APPROVAL OF FOUR NEW MODELS AND TWO NEW ELEVATIONS. SEE CASE FILE FOR MORE INFORMATION.

ISSUE DATE:	OWNER REVIEW
09/28/05	
10/04/05	CITY REVIEW
REVISIONS:	
02/07/06	
03/14/06	
04/11/06	
04/27/06	



SEC Planning Consultants
Planning • Landscape Architecture • Community Building
1122467003 • 1122467703
www.secplanning.com • info@secplanning.com

LEGAL DESCRIPTION

A parcel of land lying in the North Half of Section 5 and the Northeast Quarter of Section 6, Township 1 South, Range 68 West of the 6th Principal Meridian, City and County of Broomfield, State of Colorado, being more particularly described as follows:

COMMENCING at the Northwest corner of said Section 5 (a found illegible 2 1/2" aluminum cap); WHENCE the North Quarter corner of said Section 5 (a found 2 1/2" aluminum cap in a range box stamped "SBG LS 14823" bears N89°37'11"E a distance of 2613.75 feet;

THENCE S65°38'39"W a distance of 445.85 feet to a point on the southerly line of Outlot 1, Anthem Filing No. 5, recorded at the City and County of Broomfield Clerk & Recorder's Office at Reception No. _____ on _____, 2006, being the POINT OF BEGINNING;

THENCE the following thirty-two (32) courses along the southerly line of said Outlot 1:

1. N84°16'43"E a distance of 196.31 feet;
2. THENCE S83°44'59"E a distance of 292.36 feet;
3. THENCE S89°37'12"E a distance of 206.56 feet;
4. THENCE N85°13'09"E a distance of 301.78 feet;
5. THENCE S80°09'53"E a distance of 196.21 feet;
6. THENCE N75°39'48"E a distance of 185.68 feet;
7. THENCE S89°29'19"E a distance of 174.12 feet;
8. THENCE S82°09'10"E a distance of 202.64 feet;
9. THENCE N82°06'04"E a distance of 205.37 feet;
10. THENCE N88°45'37"E a distance of 176.30 feet;
11. THENCE S71°30'10"E a distance of 180.44 feet;
12. THENCE S48°36'48"E a distance of 180.79 feet;
13. THENCE N71°37'42"E a distance of 65.75 feet;
14. THENCE N19°52'14"E a distance of 154.82 feet;
15. THENCE N77°48'30"E a distance of 79.06 feet;
16. THENCE S18°55'41"E a distance of 115.48 feet;
17. THENCE along the arc of a curve to the right, having a central angle of 36°50'59", a radius of 45.00 feet, a chord bearing of N89°29'49"E a distance of 28.45 feet, and an arc distance of 28.94 feet;
18. THENCE N17°55'18"E radial to said curve, a distance of 20.00 feet;
19. THENCE N40°52'25"E a distance of 105.15 feet;
20. THENCE S49°07'35"E a distance of 80.00 feet;
21. THENCE N44°26'04"E a distance of 63.30 feet;
22. THENCE N88°56'11"E a distance of 1056.26 feet;
23. THENCE S70°07'58"E a distance of 191.35 feet;
24. THENCE S77°50'19"E a distance of 62.46 feet;
25. THENCE N60°54'48"E a distance of 161.84 feet;
26. THENCE S35°36'01"E a distance of 46.03 feet;
27. THENCE along the arc of a curve to the right, having a central angle of 69°14'27", a radius of 45.00 feet, a chord bearing of N89°01'13"E a distance of 51.13 feet, and an arc distance of 54.38 feet;
28. THENCE N70°59'11"E non-tangent with the last described curve a distance of 119.95 feet;
29. THENCE N89°39'23"E a distance of 408.30 feet;
30. THENCE S72°01'10"E non-tangent with the following described curve a distance of 122.27 feet;
31. THENCE along the arc of a curve to the right, having a central angle of 91°10'10", a radius of 45.00 feet, a chord bearing of N81°58'39"E a distance of 64.29 feet, and an arc distance of 71.60 feet;
32. THENCE N37°33'44"E radial to said curve, a distance of 35.62 feet;

THENCE S72°01'10"E a distance of 139.45 feet;
 THENCE S09°14'51"W a distance of 70.82 feet;
 THENCE S21°02'56"W a distance of 70.10 feet;
 THENCE S26°23'52"W a distance of 158.38 feet;
 THENCE S35°09'24"W non-tangent with the following described curve a distance of 264.92 feet;
 THENCE along the arc of a curve to the right, having a central angle of 122°27'01", a radius of 578.50 feet, a chord bearing of S21°30'45"W a distance of 1014.13 feet, and an arc distance of 1236.35 feet;
 THENCE S82°44'15"W tangent with the last and following described curves a distance of 232.44 feet;
 THENCE along the arc of a curve to the left, having a central angle of 40°44'27", a radius of 371.50 feet, a chord bearing S62°22'01"W a distance of 258.63 feet, and an arc distance of 264.16 feet;
 THENCE S41°59'48"W tangent with the last and following described curves a distance of 151.46 feet;
 THENCE along the arc of a curve to the left, having a central angle of 85°04'41", a radius of 20.00 feet, a chord bearing S00°32'33"E a distance of 27.04 feet, and an arc distance of 29.70 feet;

THENCE the following eleven (11) courses along the northerly line of Indian Peaks Parkway as dedicated by Preble Creek Filing No. 2, recorded at the City and County of Broomfield Clerk & Recorder's Office at Reception No. 2004005785 on April 23, 2004:

1. along the arc of a curve to the left, non-tangent with the last described curve, having a central angle of 52°01'00", a radius of 545.27 feet, a chord bearing of N69°05'23"W a distance of 478.20 feet, and an arc distance of 495.03 feet;
2. THENCE S84°54'07"W tangent with the last and following described curves a distance of 401.77 feet;
3. THENCE along the arc of a curve to the right, having a central angle of 63°00'47", a radius of 1104.50 feet, a chord bearing N63°35'30"W a distance of 1154.41 feet, and an arc distance of 1214.71 feet;
4. THENCE N32°05'06"W tangent with the last and following described curves a distance of 503.40 feet;
5. THENCE along the arc of a curve to the left, having a central angle of 78°28'15", a radius of 445.50 feet, a chord bearing N71°19'14"W a distance of 563.57 feet, and an arc distance of 610.15 feet;
6. THENCE S69°26'38"W tangent with the last and following described curves a distance of 219.35 feet;
7. THENCE along the arc of a curve to the right, having a central angle of 45°43'54", a radius of 254.50 feet, a chord bearing N87°41'25"W a distance of 197.78 feet, and an arc distance of 203.13 feet;
8. THENCE N64°49'28"W tangent with the last and following described curves a distance of 189.84 feet;
9. THENCE along the arc of a curve to the left, having a central angle of 57°43'03", a radius of 445.50 feet, a chord bearing S86°19'01"W a distance of 430.04 feet, and an arc distance of 448.78 feet;
10. THENCE S57°27'30"W tangent with the last and following described curves a distance of 249.27 feet;
11. THENCE along the arc of a curve to the right, having a central angle of 24°09'00", a radius of 454.50 feet, a chord bearing S69°32'00"W a distance of 190.16 feet, and an arc distance of 191.57 feet;

**ANTHEM COLORADO AT BROOMFIELD
 FILING NO.13
 NEIGHBORHOOD 1A
 SITE DEVELOPMENT PLAN**

**LEGAL DESCRIPTION / GENERAL NOTES
 SHEET 2 OF 32**

THENCE the following five (5) courses along the easterly line of Outlot 2, Anthem Filing No. 6, recorded at the City and County of Broomfield Clerk & Recorder's Office at Reception No. 2005012171 on September 6, 2005:

1. along the arc of a curve to the left, non-tangent with the last described curve, having a central angle of 96°12'35", a radius of 20.00 feet, a chord bearing of N33°30'12"E a distance of 29.77 feet, and an arc distance of 33.58 feet;
2. THENCE N14°36'06"W tangent with the last described curve a distance of 130.08 feet;
3. THENCE S75°23'54"W a distance of 120.00 feet;
4. THENCE N14°36'06"W a distance of 156.68 feet;
5. THENCE N03°00'24"E a distance of 193.16 feet;

THENCE the following two (2) courses along the southerly line of said Outlot 1, Anthem Filing No. 5:

1. N38°46'02"E a distance of 194.00 feet;
2. THENCE N42°51'43"E a distance of 101.10 feet to the POINT OF BEGINNING.

Containing 5,681,866 square feet, (130.438 Acres), more or less.

Bearings are based upon (2) Broomfield Colorado GPS Control (Modified State Plane - Colorado North Zone) - GIS LAND POSITION corners "Lucy" (found 3" brass disk set into 18" round concrete post stamped "CITY OF BROOMFIELD LUCY GPS NO. 15") and "GPS #4" (found 3 1/4" brass disk set into 18" round concrete post stamped "CITY OF BROOMFIELD 1995 GPS NO. 4" bearing being S50756°38'W a distance of 9603.05 feet.

I, Kenneth W. Carlson, a Professional Land Surveyor, licensed in the State of Colorado, do hereby certify that the above legal description was prepared by me or under my direct supervision and checking.

Kenneth W. Carlson P.L.S. #24942
 for and on behalf of Carter & Burgess, Inc.
 707 Seventeenth Street, Suite 2300
 Denver, CO. 80202
 (303) 820-5240

ADMINISTRATIVE AMEND CASE 2007-54
 APPROVED 8/1/2007
 MODIFY LANDSCAPING IN TRACT J, K
 TREES REMOVED, SOFT PATH THROUGH
 SOD

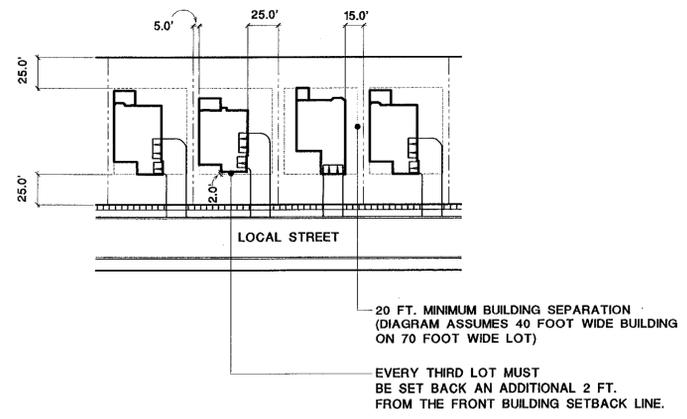
ADMINISTRATIVE AMEND CASE 2007-55
 APPROVED 8/6/2007
 RECONFIGURE TRACT E LANDSCAPING
 ONE LARGE POND, RELOCATION OF DRY
 STREAM BED, REDUCED TURF, ADDITIONAL
 PLANTS AND TRAILS, RELOCATION OF
 PICNIC AREA, AND RE-GRADING

GENERAL NOTES

1. Deviations for Site Plan are identified on Sheet 1.
2. This Site Development Plan may be revoked by the City Council if building permits are not issued to the owner by the City of Broomfield and County of Broomfield within three years from the date of approval of the Site Development Plan by the City Council.
3. Any element of construction, location, design, use, or operation of land or buildings not specifically shown on the approved Site Development Plan in graphic or written form shall conform to the requirements of the R-1 zone district.
4. Mail Delivery - shall be provided by centrally located group mailboxes.
5. Anticipated Phasing - construction of infrastructure will commence immediately with home pre-sales beginning in the summer of 2006.
6. The developer agrees to coordinate with the Regional Transportation District to locate future bus stops as needed.
7. The owner shall disclose to the prospective purchasers of the lots within 200 feet of the plugged and abandoned wells: A. The location of the plugged and abandoned wells. B. The location of the maintenance and work over easement, and C. The purpose for the well maintenance and work over easement.
8. Crosswalks for trails and interior neighborhood crossings will be stamped asphalt.
9. All construction work shall be performed during regular working hours, 7 A.M. until 7 P.M., Monday through Friday, and shall comply with both Section 131.01 (Working Hours) of the Broomfield Standards and Specifications, and Chapter 9.36 (Noise) of the Broomfield Municipal Code. No overtime work, or work on Saturday, Sunday or legal holiday shall be performed without written consent of the City Engineer. In addition, this requirement shall be included in the General Notes of all project construction plans.
10. All signage (excluding regulatory and street signage) will incorporate stone bases as demonstrated herein.
11. Perimeter fencing, perimeter privacy walls, retaining walls, and cluster mailboxes will be installed by the builder with maintenance provided by the Homeowner's Association. Refer to Sheet 22 for fencing, walls, and cluster mailbox details.
12. Maintenance of landscaped area within utility easements located on private lots are the responsibility of the individual homeowner, with access allowed by the city.
13. Natural drainageways may have standing water in them.
14. For homeowner-installed exterior site, building, and landscape improvements refer to City of Broomfield Residential Design Guidelines and Anthem Highlands Design Guidelines with approval by the HOA ACC.
15. Timing of the dedication of each outlot shall occur per the PUD plan/amended PUD plan, or no later than development of adjacent parcels, or as requested by the City and County of Broomfield.
16. All trails will be open to the public.

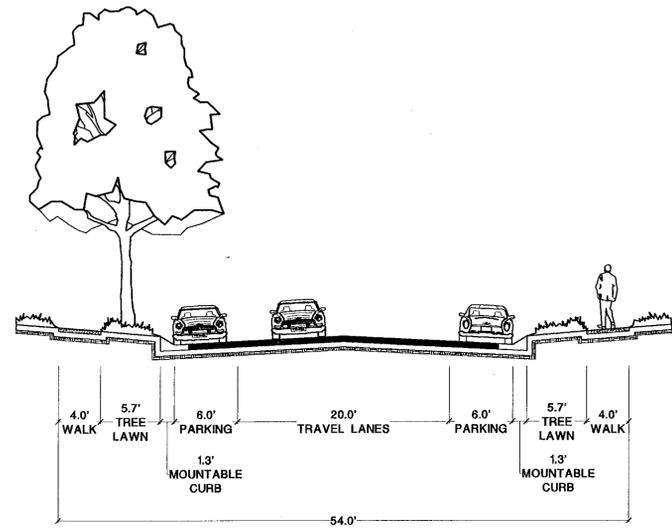
ISSUE DATE:	
09/20/05	OWNER REVIEW
10/04/05	CITY REVIEW
REVISIONS:	
02/07/06	
03/14/06	
04/11/06	
04/27/06	





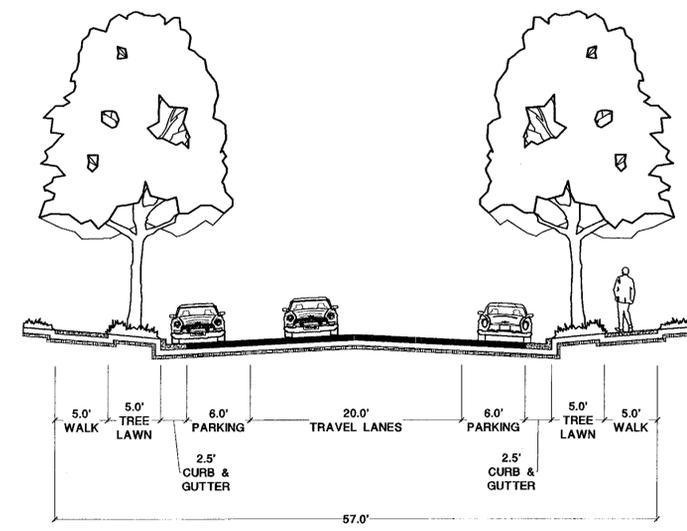
1 - TYPICAL LOT DIAGRAM

Scale: NTS



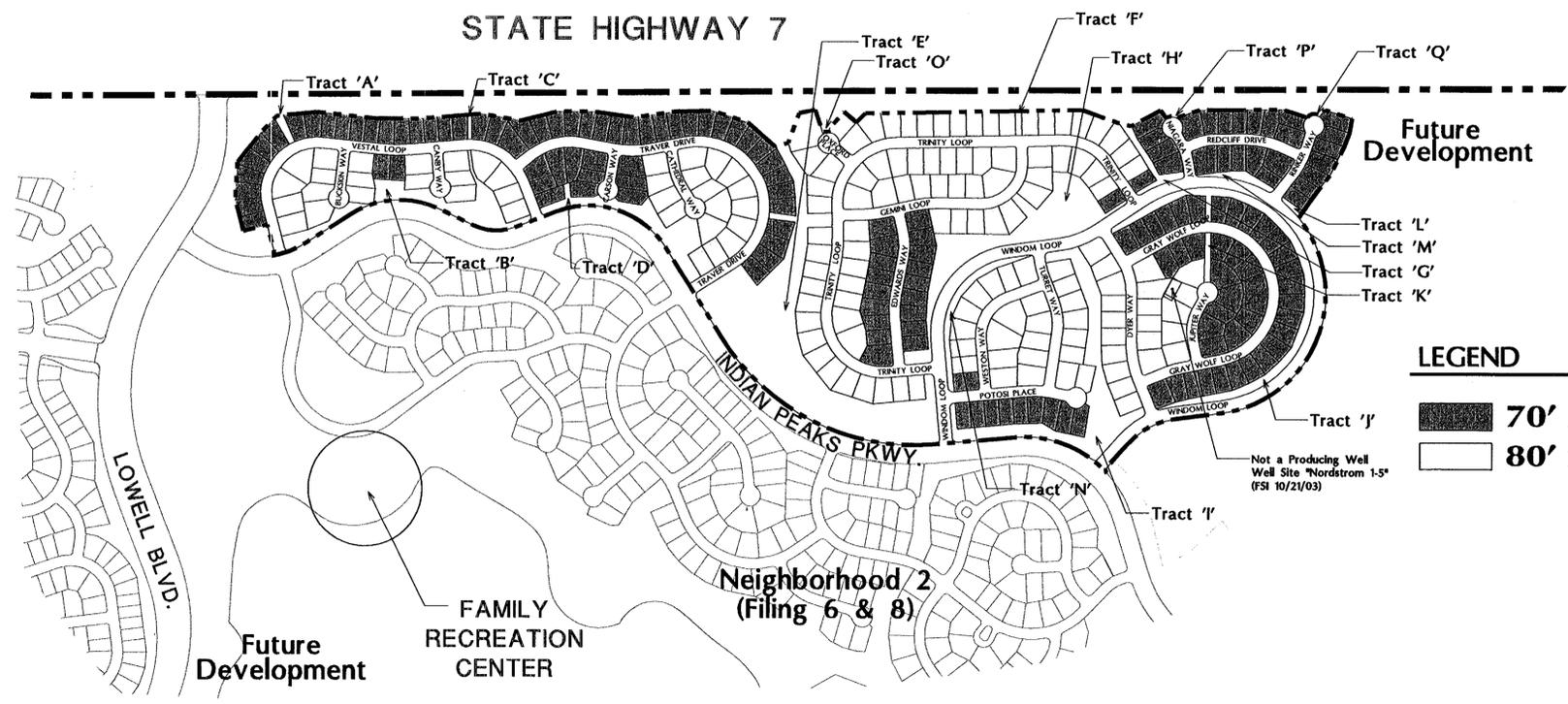
2 - LOCAL STREET SECTION - 54' R.O.W.

Scale: 1/8" = 1'-0"



3 - WINDOM LOOP STREET SECTION - 57' R.O.W.

Scale: 1/8" = 1'-0"



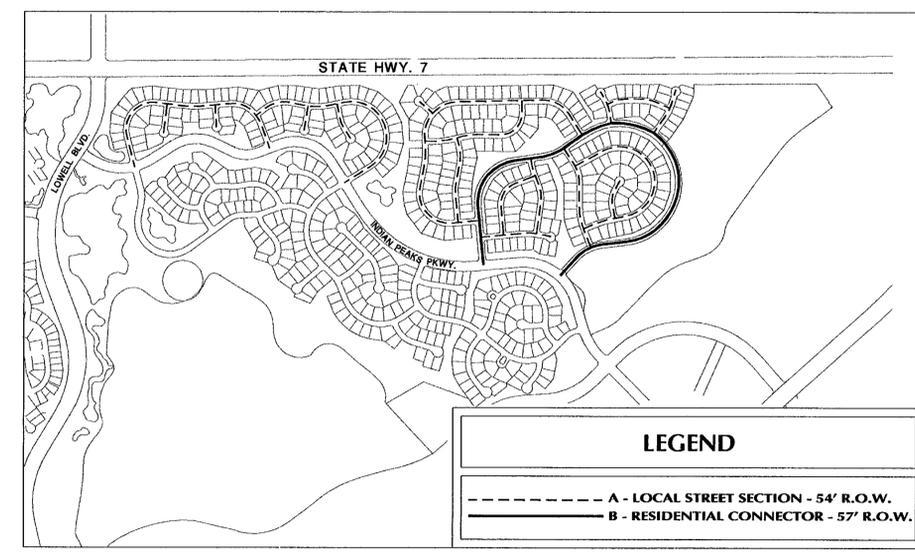
4 - CONTEXT MAP - NEIGHBORHOOD 1

Scale: 1" = 400'-0"



DEVELOPMENT STANDARDS			
SINGLE FAMILY DETACHED	70 ft. Wide Lots	80 ft. Wide Lots	City Standards (Low Density Residential Detached)
MINIMUM LOT AREA	7735 s.f.	9562 s.f.	7000 s.f.
MINIMUM LOT WIDTH:			
INTERIOR	70 ft.	80 ft.	70 ft.
CORNER	80 ft.	90 ft.	80 ft.
MINIMUM BUILDING SETBACK:			
FRONT	25 ft.	25 ft.	25 ft.
REAR	25 ft.	25 ft.	25 ft.
SIDE A (Interior Lot - Side Load Garage)	5 ft.	5 ft.	10-14.5 ft. *
SIDE B (Interior Lot - Side Load Garage)	25 ft.	25 ft.	10-14.5 ft. *
SIDE A and B (Interior Lot - Front Garage)	15 ft.	15 ft.	10-14.5 ft. *
SIDE (Corner Lot - All Homes)	20 ft.	20 ft.	20 ft.
MINIMUM BUILDING SEPARATION	20 ft.	20 ft.	N/A
MAX. BUILDING HEIGHT (per BMC)	33 ft.	33 ft.	33 ft.
MAX. BUILDING HEIGHT FOR WALKOUT HOMES **	33 ft.	33 ft.	33 ft.
MAX. BUILDING HEIGHT FOR GARDEN LEVEL HOMES **	33 ft.	33 ft.	33 ft.

* Varies depending on building height
** Building Height is measured as the average of the front building elevation and the rear building elevation.



5 - STREET DESIGNATION PLAN

Scale: NTS



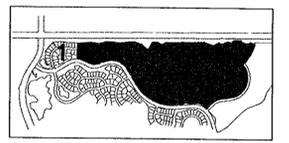
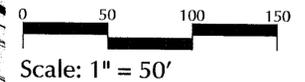
ISSUE DATE:	
09/20/05	OWNER REVIEW
10/04/05	CITY REVIEW
REVISIONS:	
02/07/06	
03/14/06	
04/11/06	
04/27/06	





LEGEND

- SDP BOUNDARY
- SHEET MATCH LINE
- LOT LINE
- BUILDING SETBACK
- LOT NUMBER
- "A" TYPE LOT
- "B" TYPE LOT
- WO WALK OUT LOT
- GL GARDEN LEVEL LOT
- 10572 S.F. LOT SQ. FT.
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- 3.9% TRAIL SLOPE
- 5212.2 PROPOSED SPOT ELEVATION
- CONCRETE TRAIL
- SOFT SURFACE TRAIL
- DRAINAGE SWALE
- NOTE: ADD 5,000' TO ALL SPOT ELEVATIONS



Area Key Map N.T.S.

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	02/07/06	
	03/14/06	
	04/11/06	
	04/27/06	



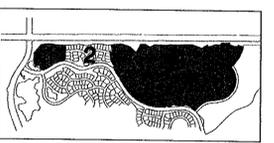


LEGEND

- SDP BOUNDARY
- SHEET MATCH LINE
- LOT LINE
- BUILDING SETBACK
- 88** LOT NUMBER
- A** "A" TYPE LOT
- T** TRANSITIONAL LOT
- B** "B" TYPE LOT
- WO** WALK OUT LOT
- GL** GARDEN LEVEL LOT
- 10572 S.F. LOT SQ. FT.
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- 3.9% TRAIL SLOPE
- 5212.2 PROPOSED SPOT ELEVATION
- CONCRETE TRAIL
- SOFT SURFACE TRAIL
- DRAINAGE SWALE
- NOTE: ADD 5,000' TO ALL SPOT ELEVATIONS



Scale: 1" = 50'



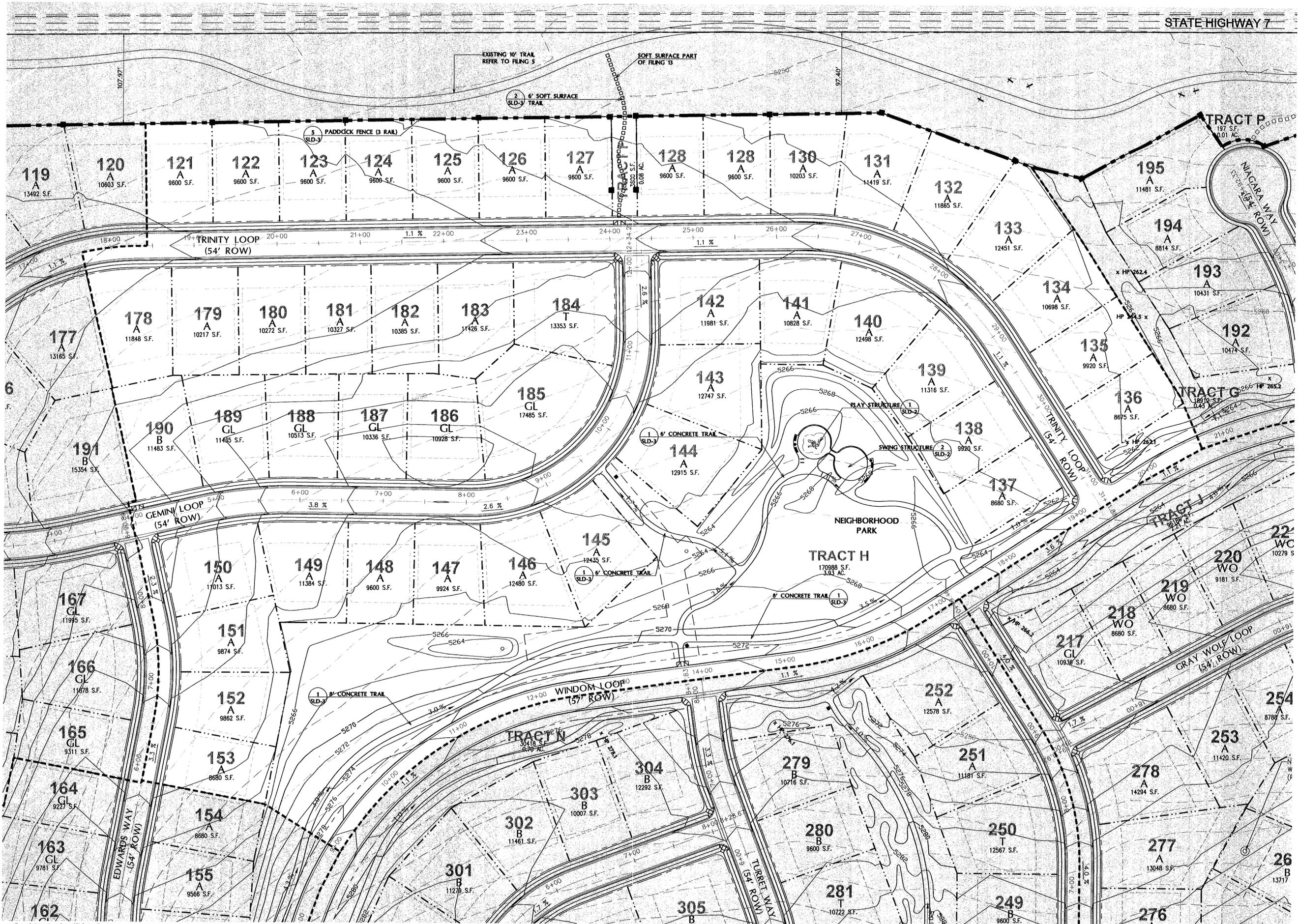
Area Key Map N.T.S.

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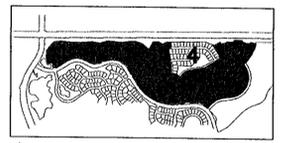
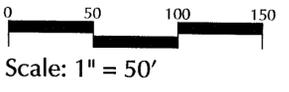
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 10000 E. 120th Ave., Suite 100
 Denver, CO 80231
 Phone: 303.751.1100
 Fax: 303.751.1101
 www.secplanning.com

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LEGEND

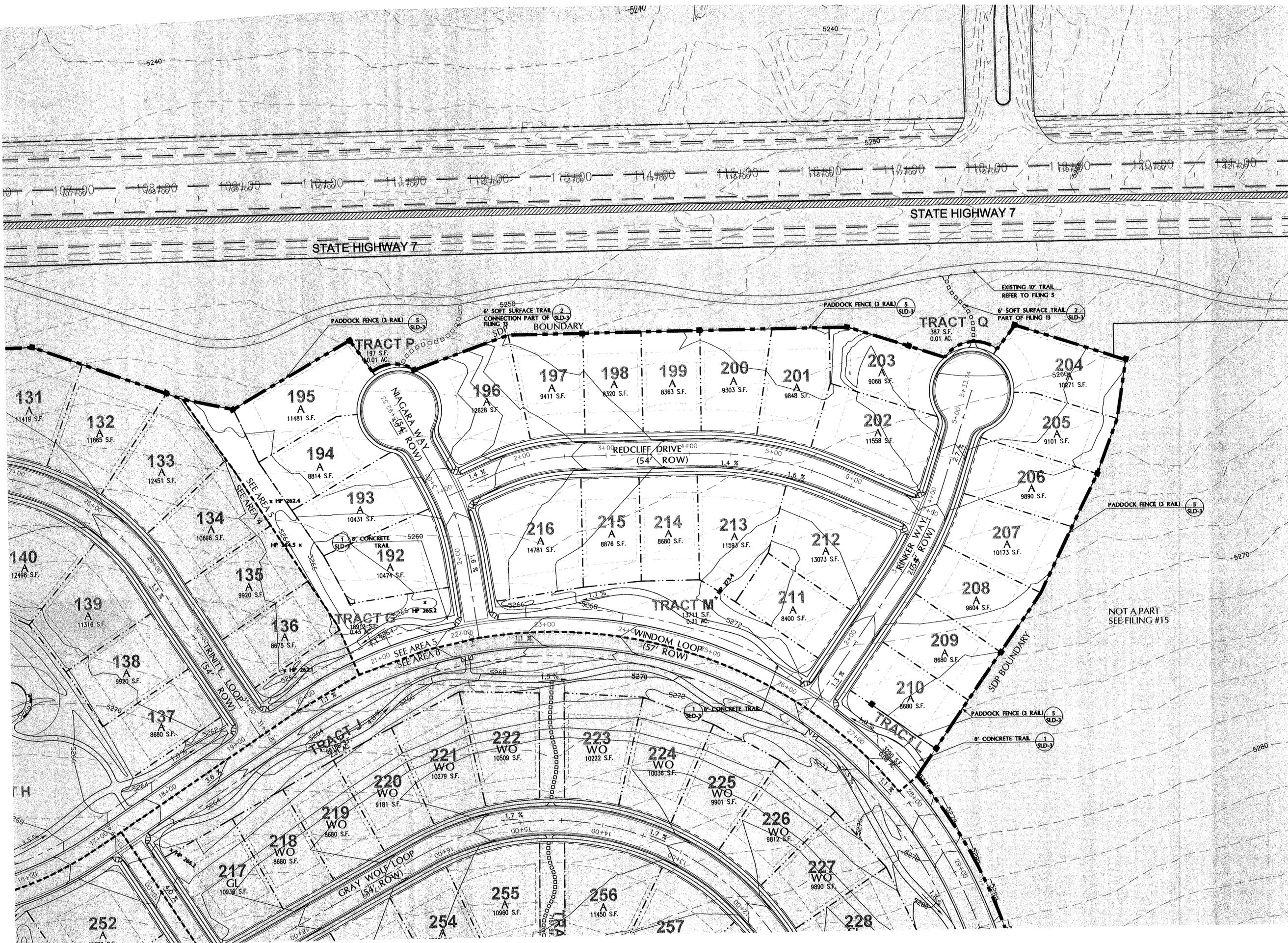
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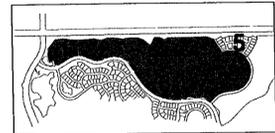
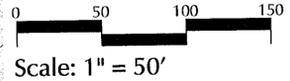


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LEGEND

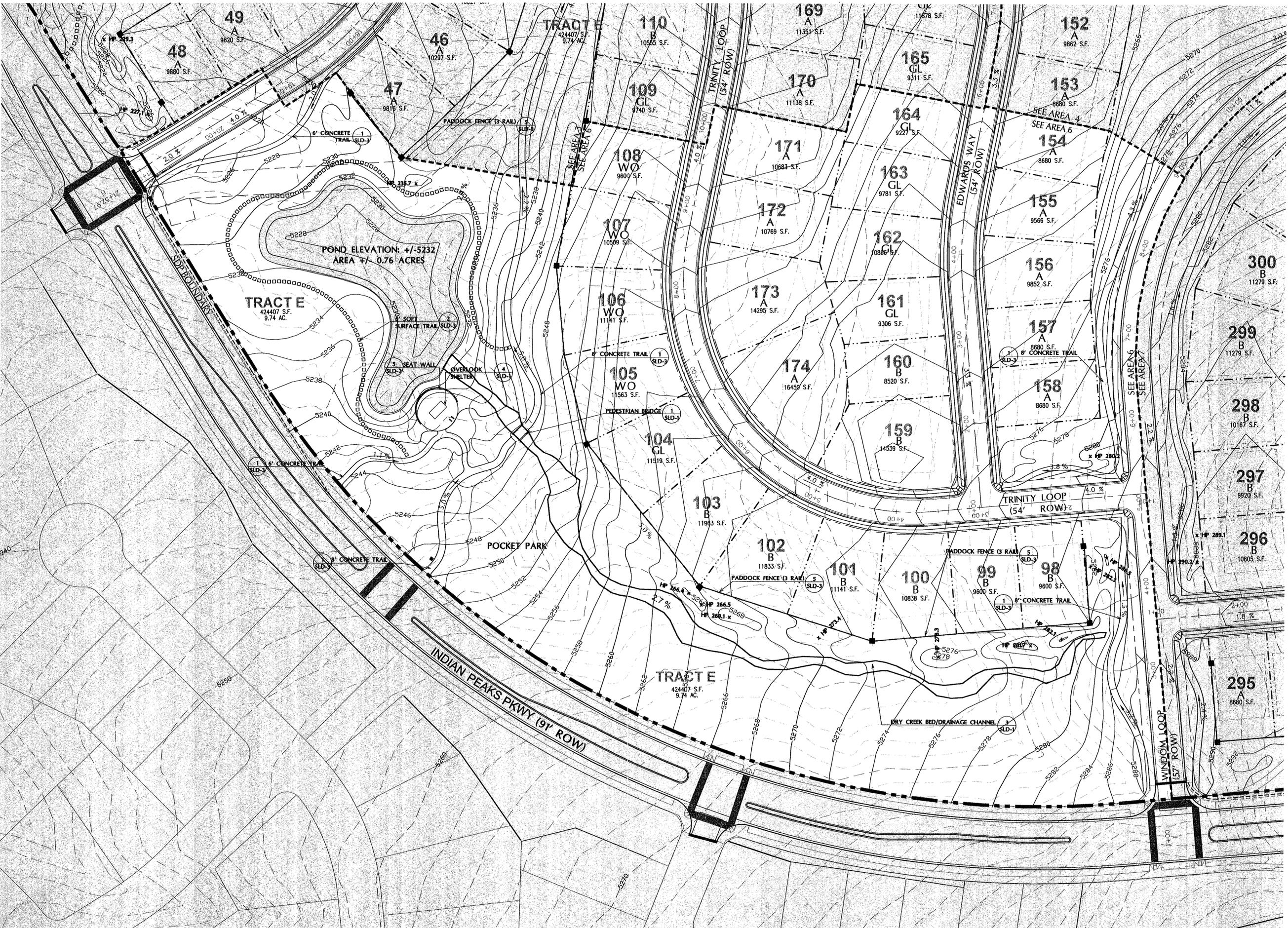
- SDP BOUNDARY
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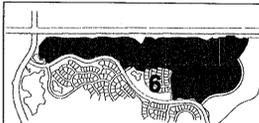


LEGEND

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Scale: 1" = 50'



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Carter-Burgess

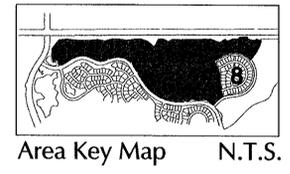
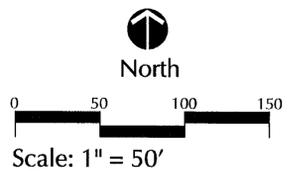


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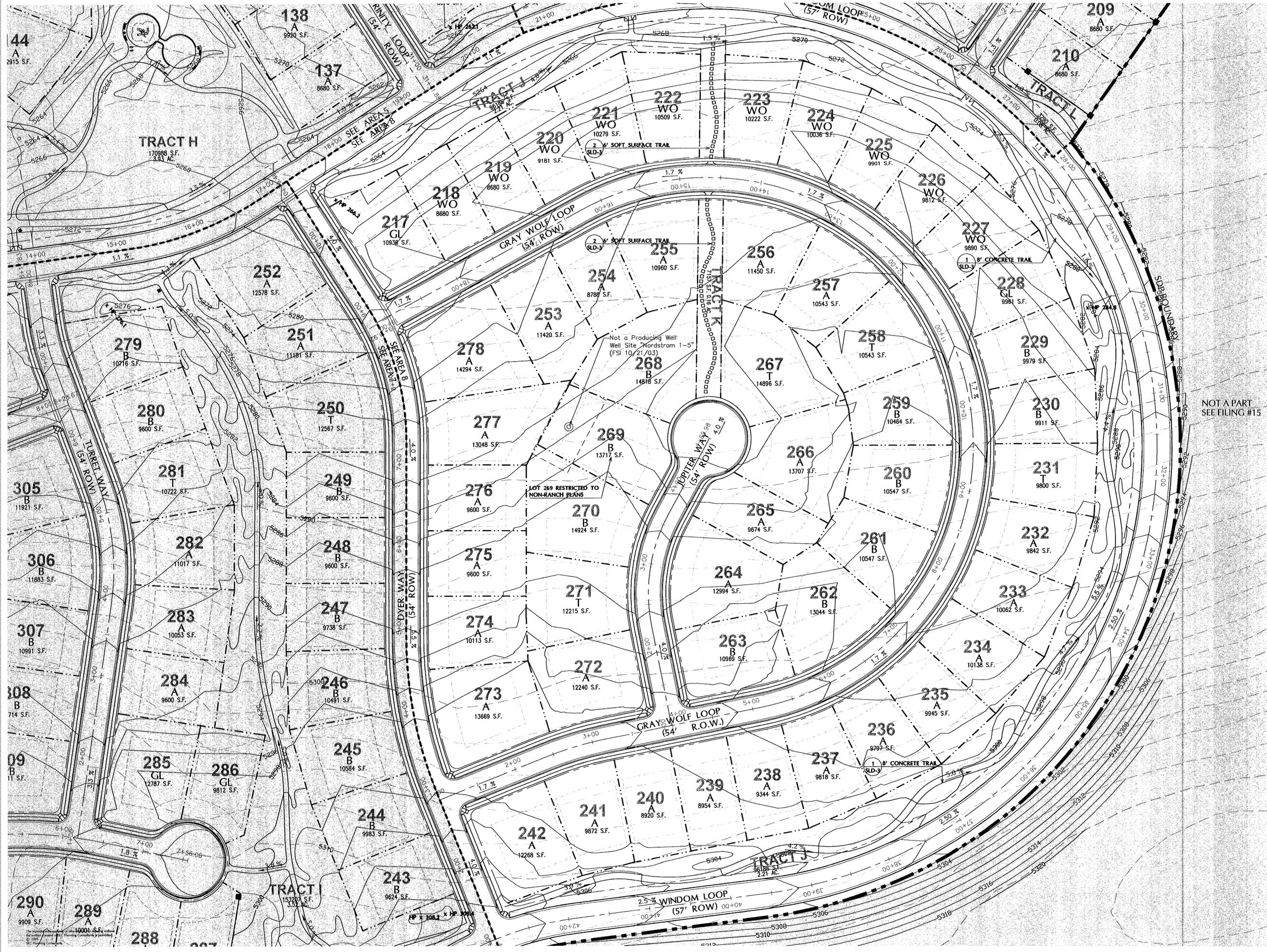
LEGEND

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- DRAINAGE SWALE

NOTE: ADD 5,000' TO ALL SPOT ELEVATIONS

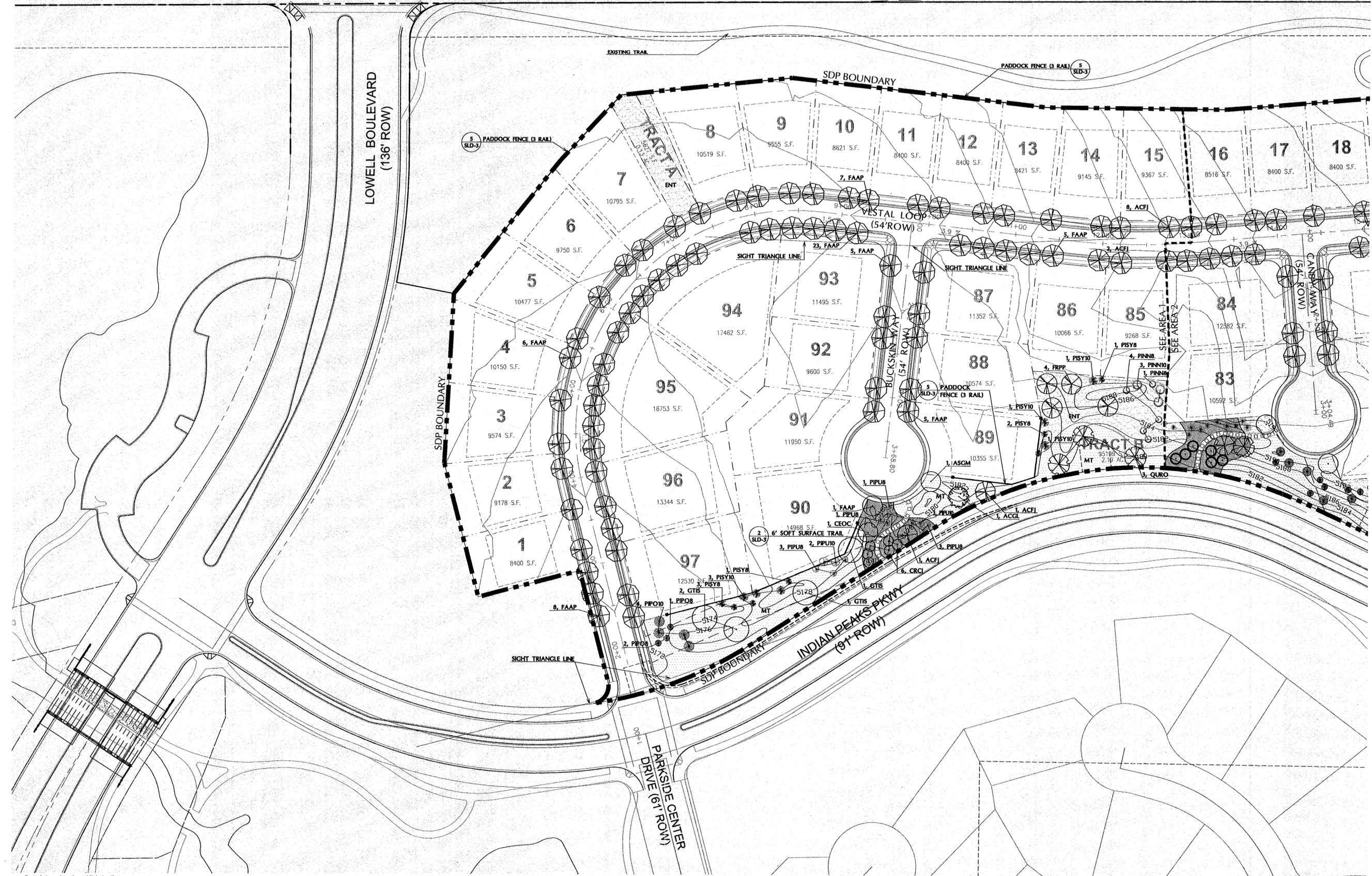


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STATE HIGHWAY 7

LOWELL BOULEVARD
(136' ROW)

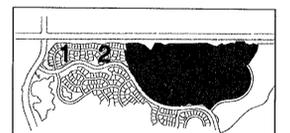


LEGEND

- SDP BOUNDARY
 - - - SHEET MATCH LINE
 - CONCRETE TRAIL
 - □ □ □ □ SOFT SURFACE TRAIL
 - ~ PROPOSED 2' CONTOUR
 - ~ PROPOSED 10' CONTOUR
 - DECIDUOUS SHADE AND STREET TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - ENT ENHANCED NATIVE TURF
 - MT MANICURED TURF
 - SHRUB AND PERENNIAL BED w/ STEEL EDGING
- PLEASE REFER TO SHEET 23 FOR PLANT PALLETTE



Scale: 1" = 50'



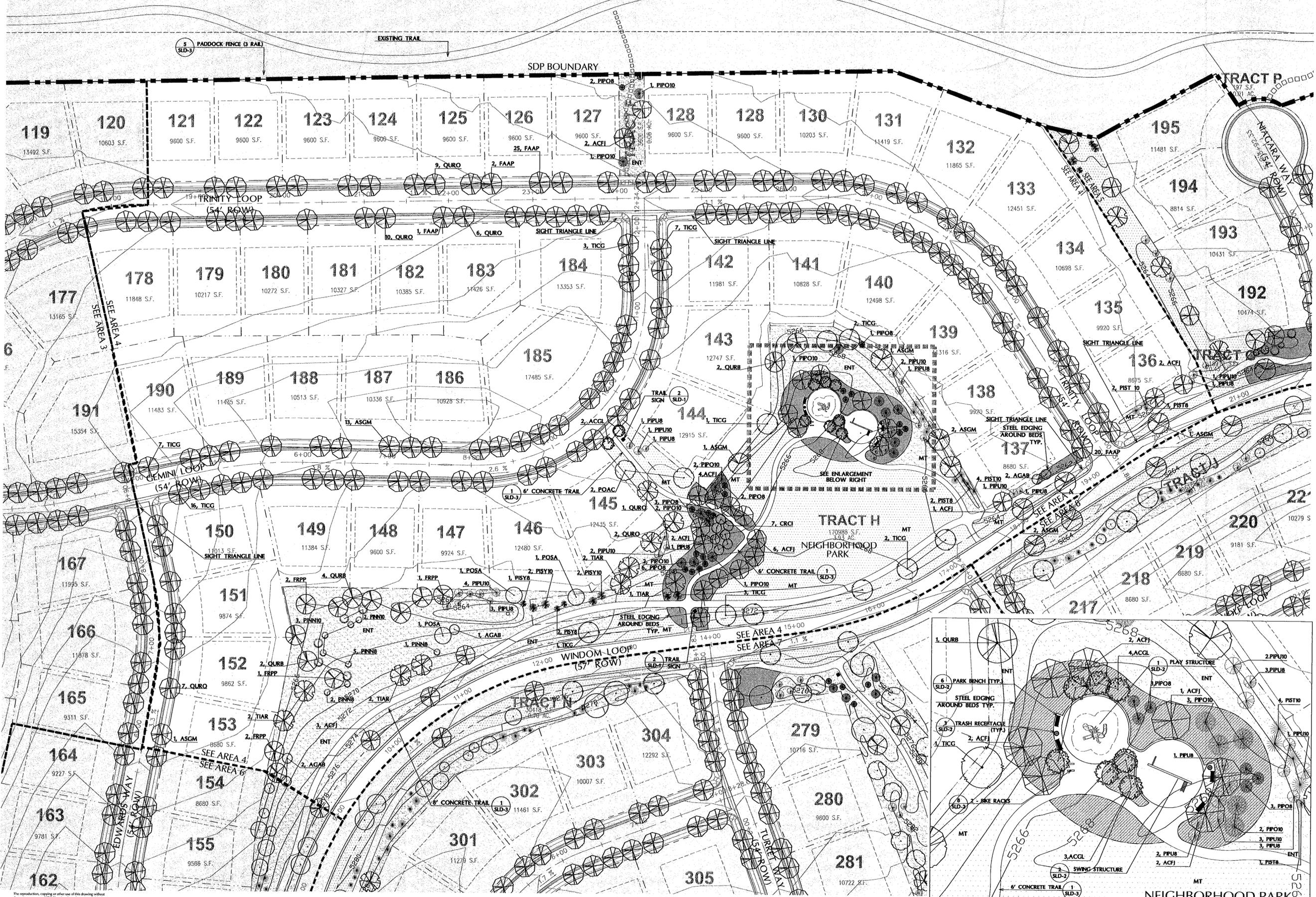
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04/11/06	
04/27/06	



DATE: 04/27/06
PROJECT NUMBER 050714-PTPC
LANDSCAPE PLAN LP-1 - SHEET 12

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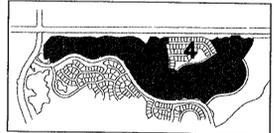


LEGEND

- SDP BOUNDARY
 - SHEET MATCH LINE
 - CONCRETE TRAIL
 - SOFT SURFACE TRAIL
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PLANTING SYMBOLS**
 - DECIDUOUS SHADE AND STREET TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - ENHANCED NATIVE TURF
 - MANICURED TURF
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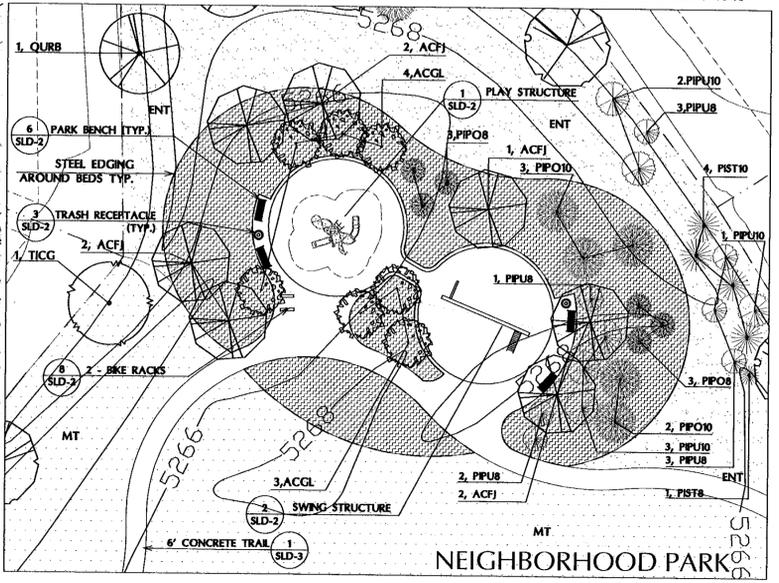


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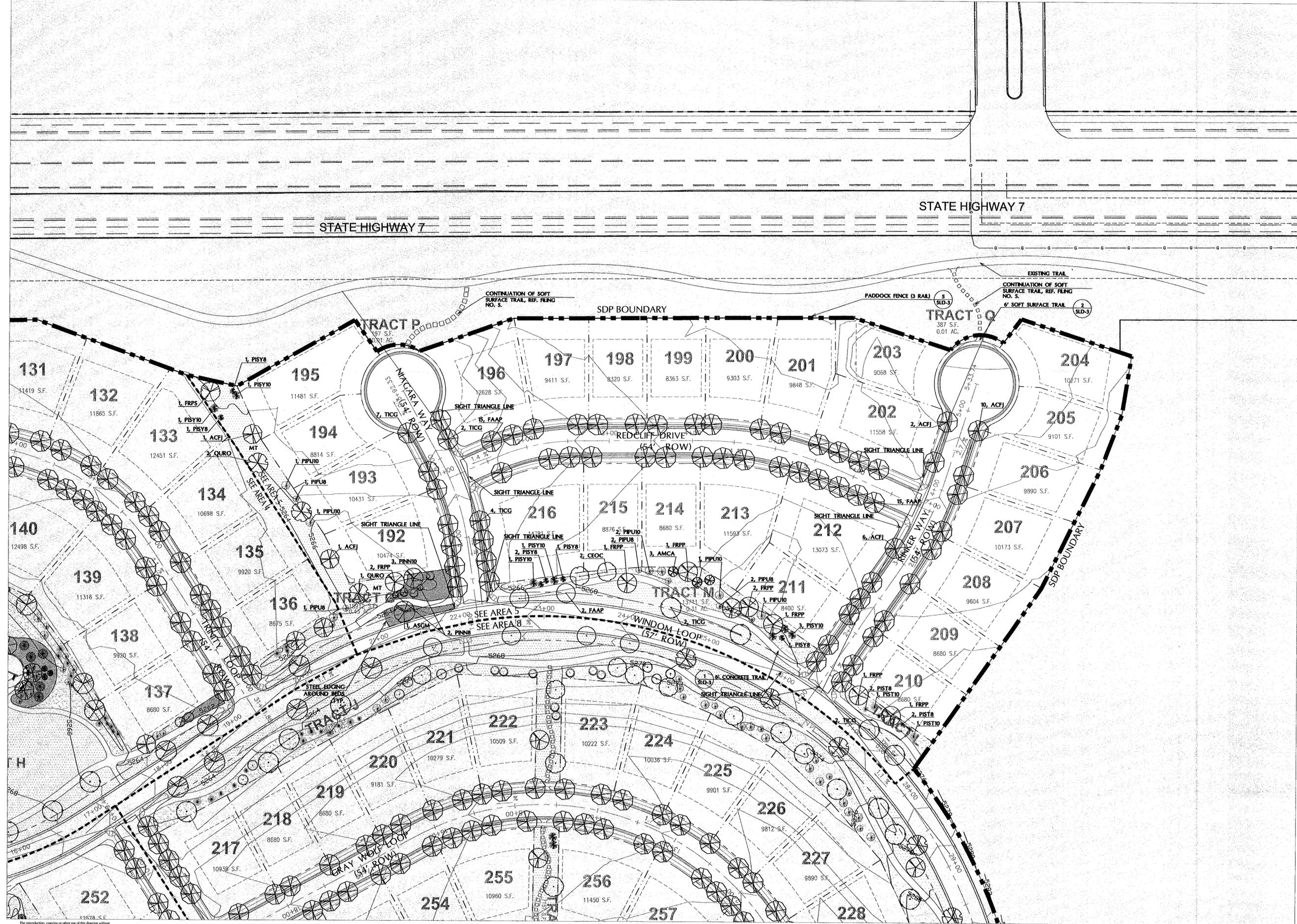


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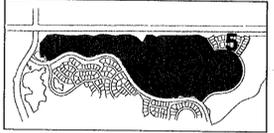


LEGEND

- SDP BOUNDARY
 - - - SHEET MATCH LINE
 - ==== CONCRETE TRAIL
 - SOFT SURFACE TRAIL
 - ~ PROPOSED 2' CONTOUR
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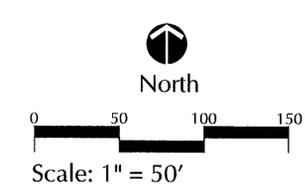
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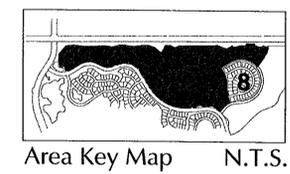
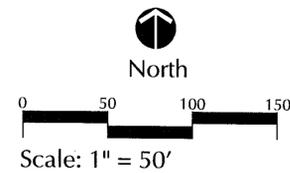
LEGEND

- SDP BOUNDARY
- - - SHEET MATCH LINE
- CONCRETE TRAIL
- □ □ □ SOFT SURFACE TRAIL
- ~ PROPOSED 2' CONTOUR
- ~ PROPOSED 10' CONTOUR

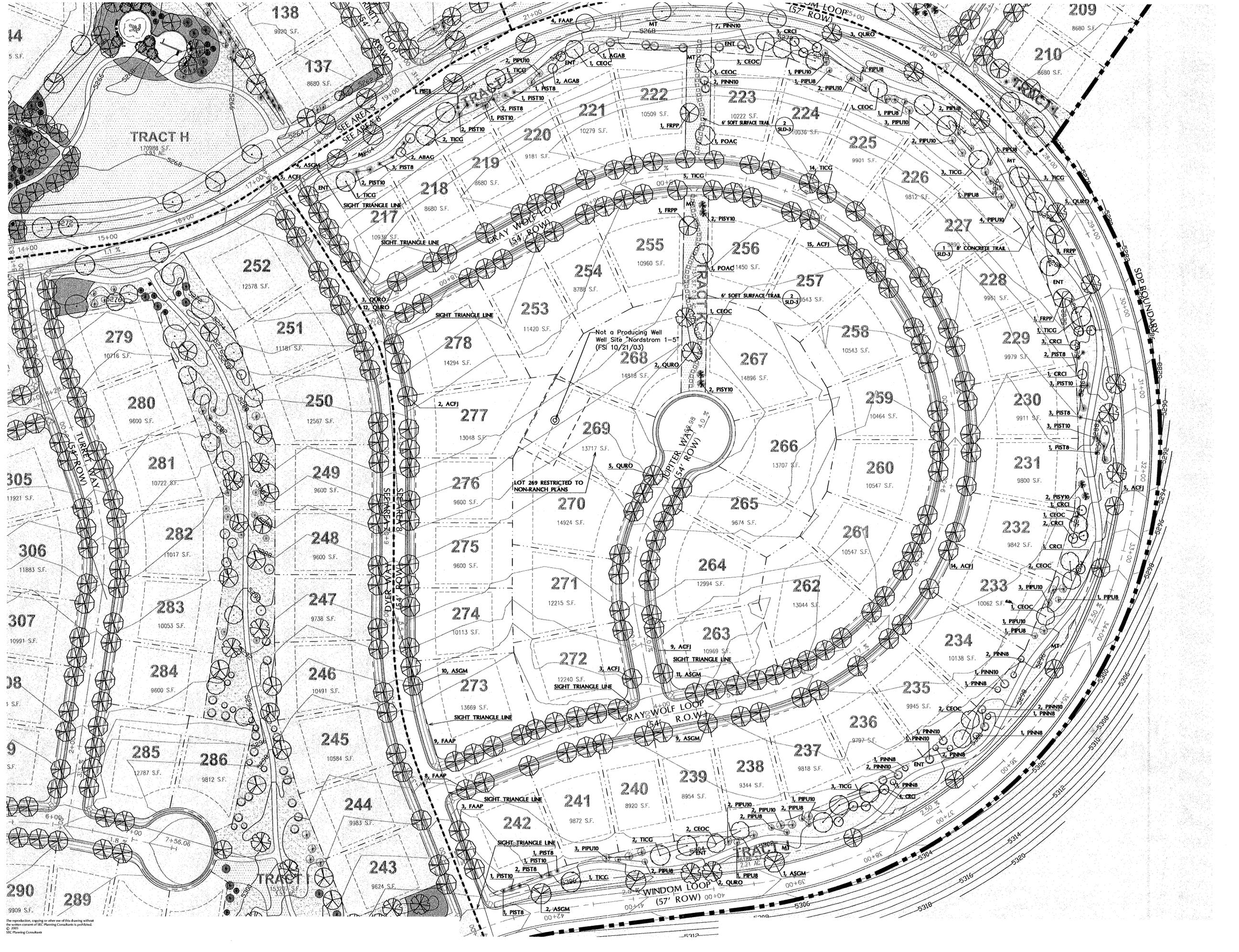
PLANTING SYMBOLS

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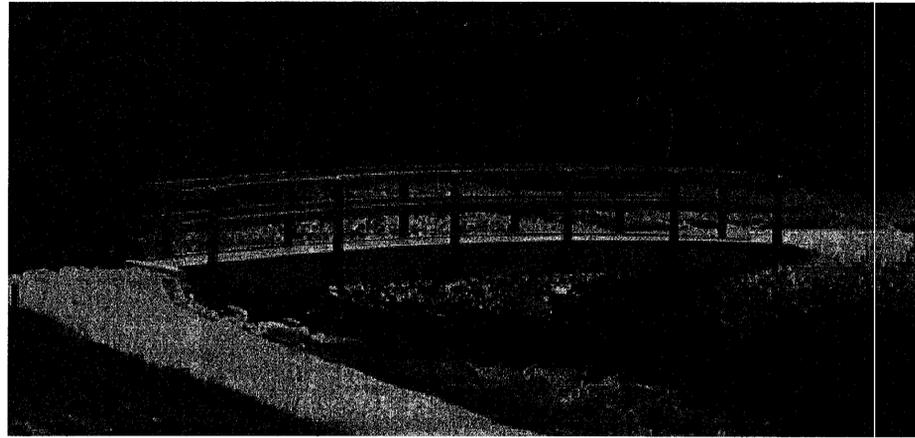
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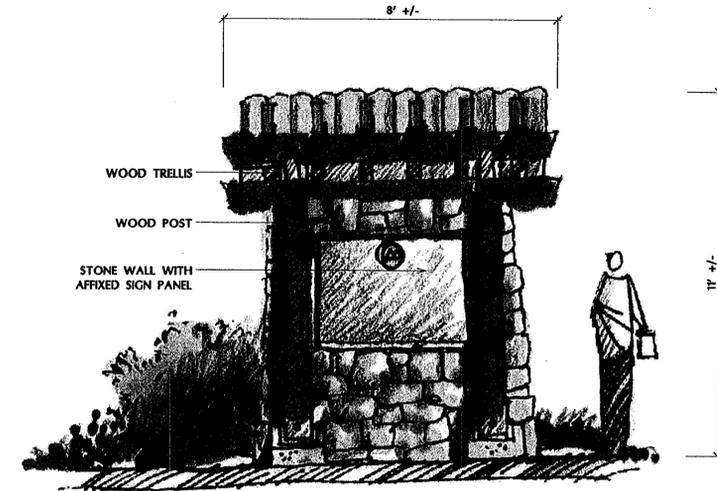
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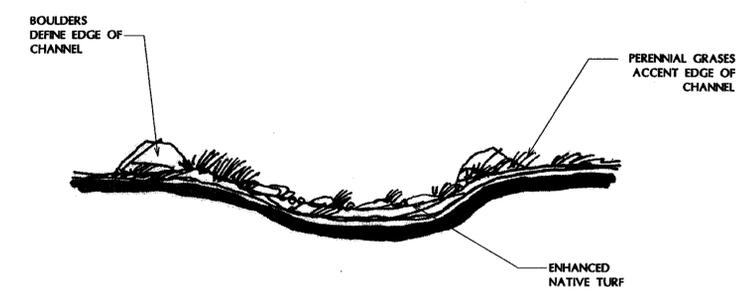
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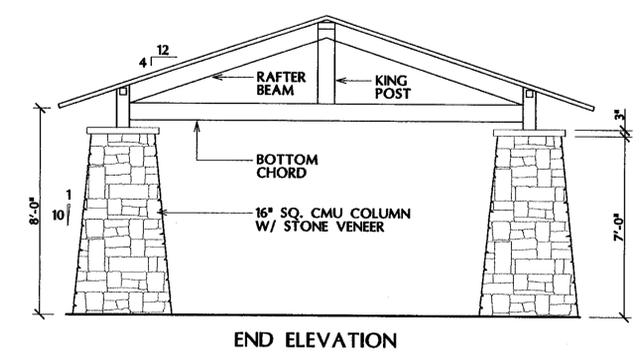
1 - PEDESTRIAN BRIDGE (TYP.)
 N.T.S.



2 - TRAIL SIGN
 N.T.S.



3 - DRY CREEK BED/DRAINAGE CHANNEL
 N.T.S.

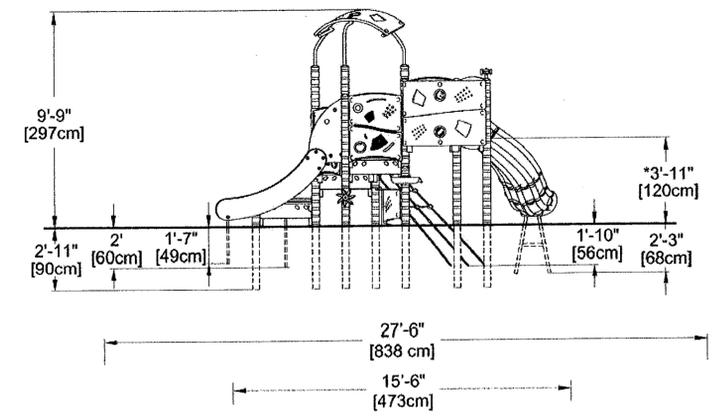


4 - OVERLOOK SHELTER
 N.T.S.

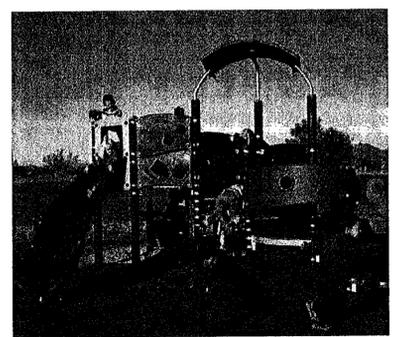
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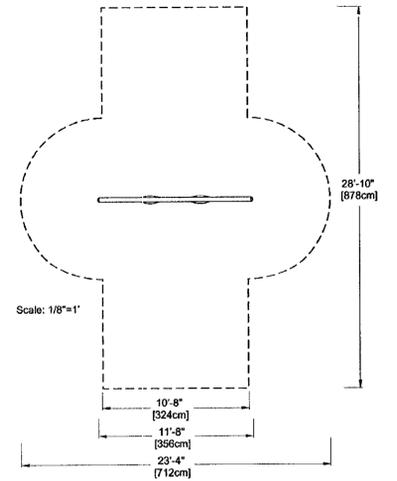


Space required, including use zone: 27'-6" x 25'-11" / 838 cm x 789 cm
Highest Designated Play Surface: 3'-11" / 120 cm
Total Safety Zone Area: 555.5 ft² / 51.6 m²

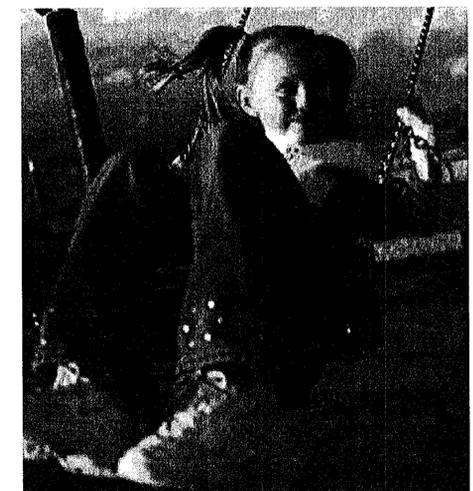


1 - PLAY STRUCTURE

N.T.S.

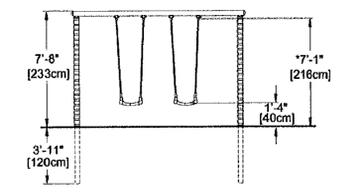


Space required, including use zone: 23'-4" x 28'-10" / 712 cm x 878 cm
Highest Designated Play Surface: 7'-1" / 216 cm
Total Safety Zone Area: 435.9 ft² / 40.5 m²



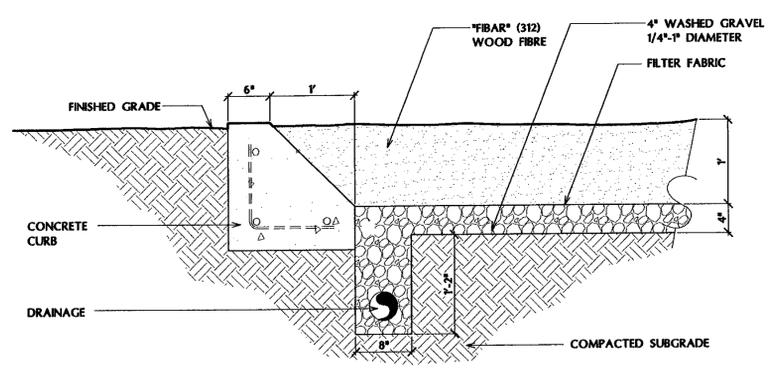
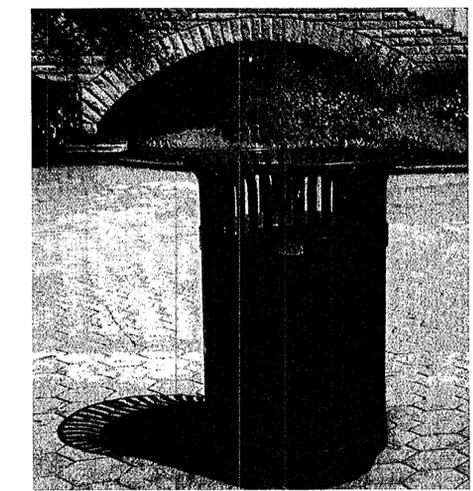
2 - SWING STRUCTURE

N.T.S.



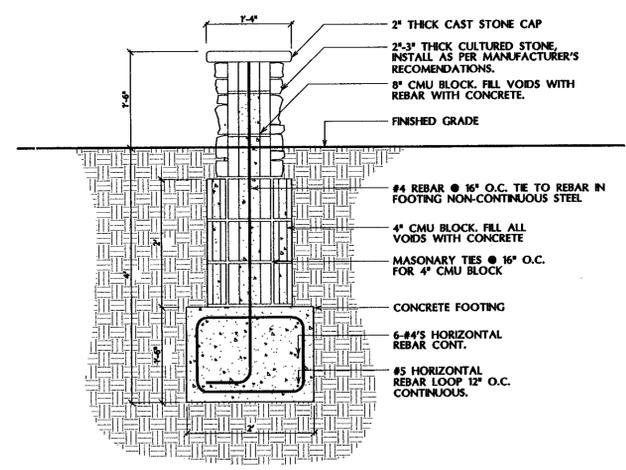
3 - TRASH RECEPTACLE (TYP.)

N.T.S.



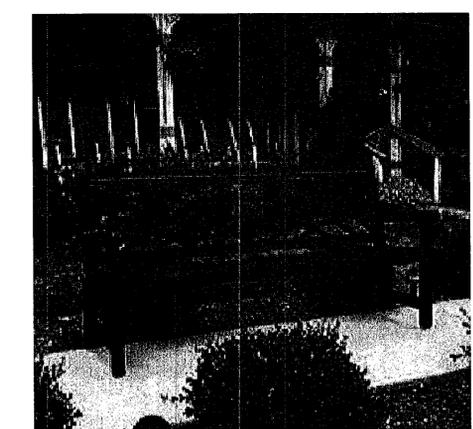
4 - PLAYGROUND CURB (TYP.)

N.T.S.



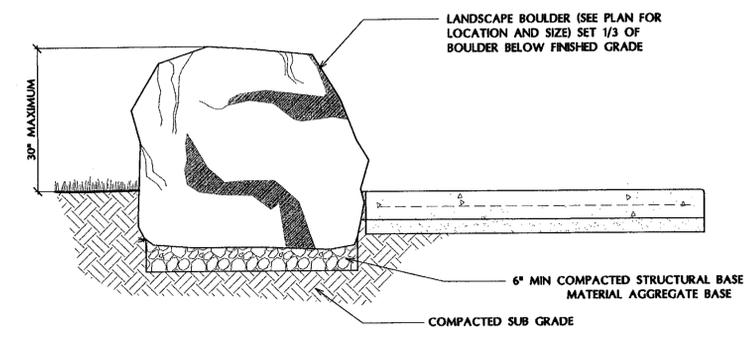
5 - SEAT WALL

Scale: 3/4" = 1'-0"



6 - PARK BENCH (TYP.)

N.T.S.



7 - LANDSCAPE BOULDER GROUPING

N.T.S.



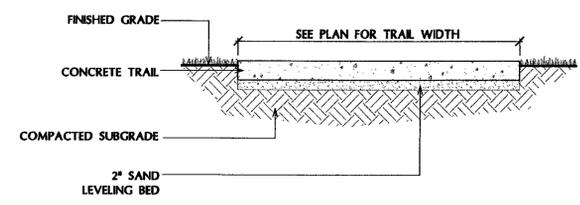
8 - BIKE RACK (TYP.)

N.T.S.

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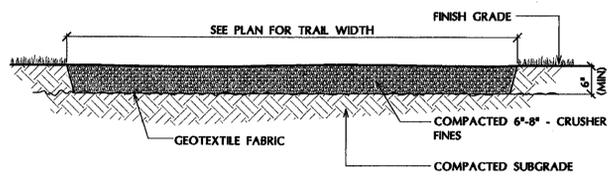


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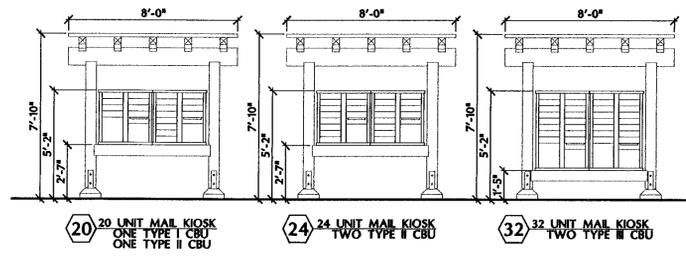
1 - CONCRETE TRAIL

Scale: 3/4" = 1'-0"



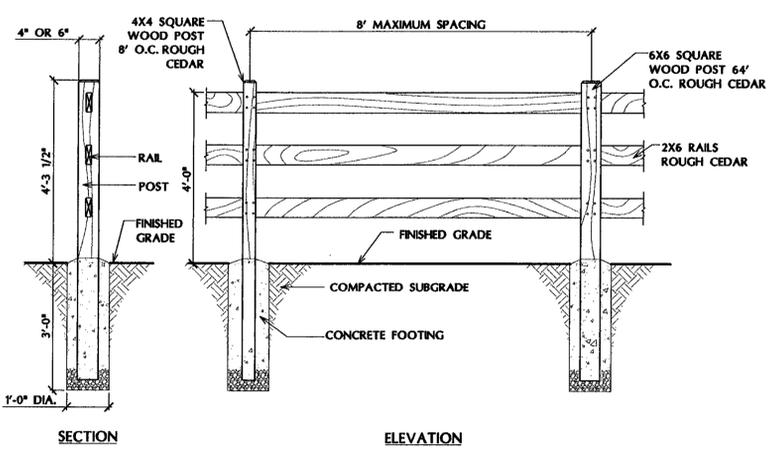
2 - SOFT TRAIL (CRUSHER FINES)

Scale: 3/4" = 1'-0"



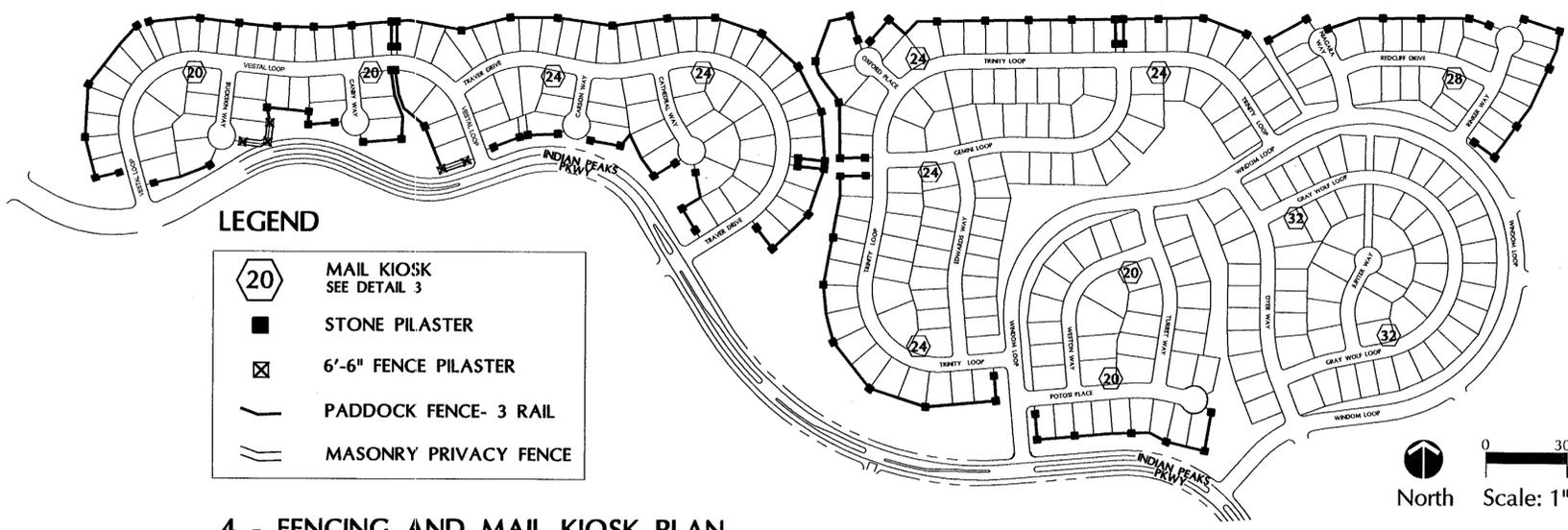
3 - MAIL KIOSK

Scale: 1/4" = 1'-0"



5 - PADDOCK FENCE (3 RAIL)

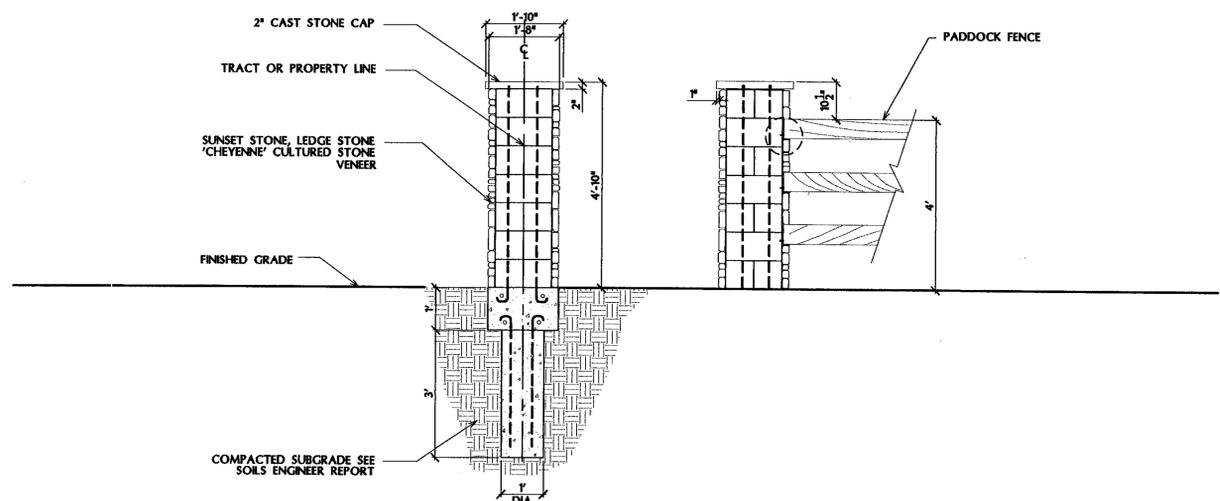
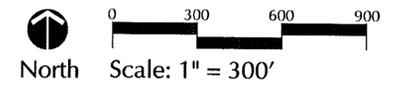
Scale: 1/2" = 1'-0"



LEGEND

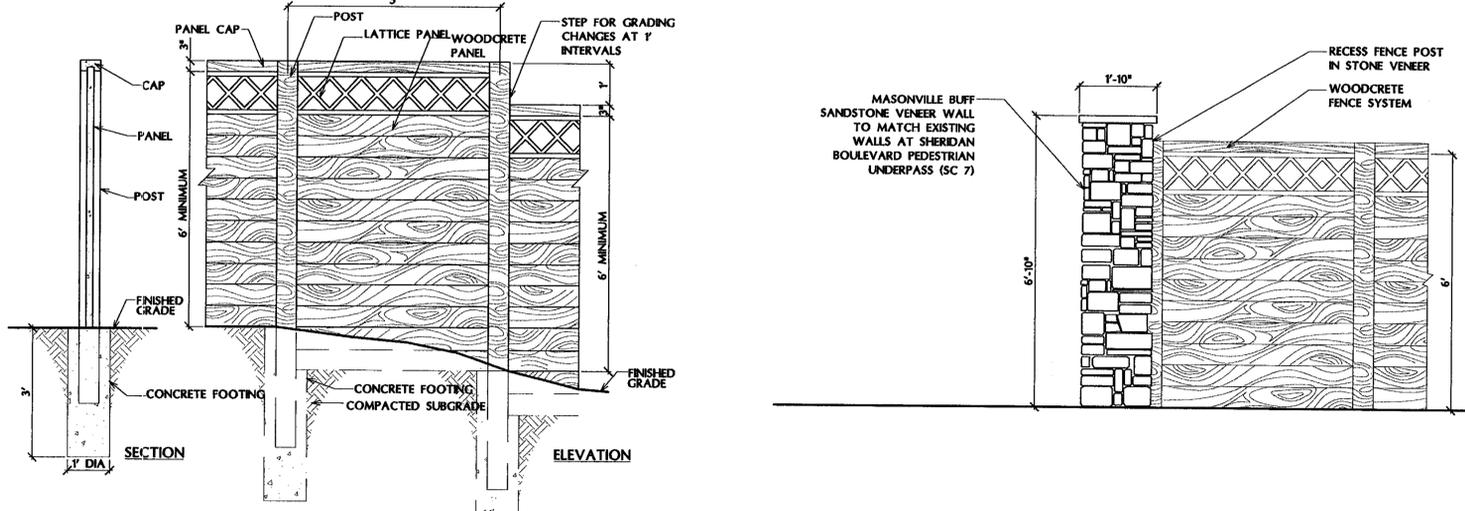
- MAIL KIOSK
SEE DETAIL 3
- STONE PILASTER
- 6'-6" FENCE PILASTER
- PADDOCK FENCE- 3 RAIL
- MASONRY PRIVACY FENCE

4 - FENCING AND MAIL KIOSK PLAN



6 - PILASTER DETAIL

Scale: 1/2" = 1'-0"



7 - SCREEN FENCE

Scale: 1/2" = 1'-0"

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LANDSCAPE DESIGN INTENT

Due to the close proximity to Highway 7, Neighborhood One was designed to accommodate an approximately 100 foot landscape buffer. The residential neighborhood was designed with open ended cut-de-sacs and curvilinear streets along the Highway 7 frontage in order to vary the shape and depth of the landscape buffer for visual interest.

The designs for the open lands and park system along Highway 7, Lowell Boulevard and portions of Indian Peaks Parkway are covered in separate submittals from this Neighborhood One Site Development Plan. Trail connections and landscaping for the adjacent open space were consulted and integrated into the Neighborhood One design.

The parks, trails and open lands for Neighborhood One continue the overall theme for Anthem Colorado. The neighborhood fits seamlessly into the overall comprehensive parks and trails master plan and provides new residents with a variety of active and passive recreational opportunities. The design for the neighborhood reflects the park and trail proposals included in the Anthem West Colorado PUD.

To further communicate the connectivity between Neighborhood One and the overall Anthem Colorado community, trail connections have been aligned in several locations.

- A trail connection has been coordinated with a linear park and trail in Neighborhood Two, which leads directly to the school site on Preble Creek Parkway.
- Trails have been aligned to connect Neighborhood One to the Primary Lifestyle Recreation Center adjacent to Neighborhood Two.
- Trail connections have been located to link the Neighborhood One trails to the continuous trails along Highway 7 and Indian Peaks Parkway.

In addition to the trail connections providing links to other parkland facilities within Anthem Colorado, within Neighborhood One there are proposed the following parks and trails:

- One approximately 2 acre pocket park (1/4 mile service radius)
- One approximately 6 acre neighborhood park (1/2 mile service radius)
- Four internal, linear greenbelts with trails
- Internal, residential enclave connections to trail systems

GENERAL NOTES

- All trees will be 2-1/2" caliper, unless otherwise noted.
- All shrubs will be 5 gallon size unless otherwise noted.
- All shrub beds will have either wood or rock mulch.
- All areas disturbed by grading outside of landscape limit line will be reseeded with a mixture of naturalized, drought tolerant grasses, unless otherwise noted.
- Any trees shown as "existing tree" are shown for design intent and context only.
- Enhanced Native Turf (ENT) will be used to revegetate all areas disturbed by grading. Any areas shown as Enhanced Native Turf (ENT) that are not disturbed by grading will remain in their existing condition.
- The landscape construction documents will demonstrate compliance with line of vision requirements set forth in Broomfield's Standards and Specifications.
- All landscaping is subject to final approval at construction document stage.
- Minor adjustments to species and locations may be proposed at construction document stage, subject to staff concurrence, to allow for availability of stock and other unforeseen circumstances, while providing overall totals and not reducing caliper size.
- All landscaping and irrigation systems on City and County of Broomfield property will comply with Standards and Specifications of the City and County of Broomfield.

TURF AND GRASS NOTES

MANICURED TURF (MT)

- Manicured turf (MT) will be either seed or sod and will consist of a fescue/bluegrass blend.
- All manicured turf and shrub beds will be irrigated by an automatic irrigation system. The native turf areas will be irrigated through establishment, but will not be irrigated on a regular basis after establishment.
- The following describes how Manicured Turf will be used based on visual and programmatic considerations:
 - Moderate to passive use lawns- i.e. unprogrammed open play areas
A fescue/bluegrass mix installed with a moderate to aggressive soil preparation.

ENHANCED NATIVE TURF (ENT)

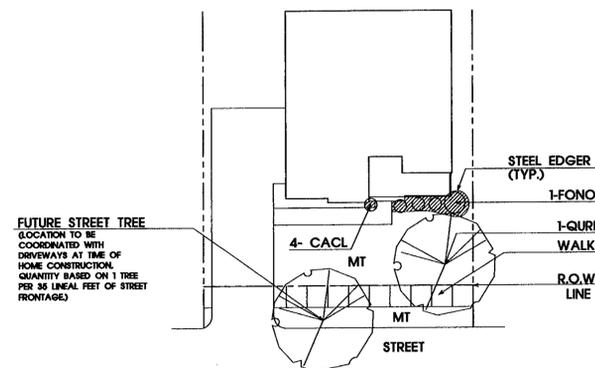
- Enhanced native turf (ENT) will consist of a mixture of naturalized, drought tolerant grasses.
- The following describes how Enhanced Native Turf will be used based on visual and programmatic considerations:
 - Openlands and re-vegetation areas
A prairie mix of warm and cool season grasses that are drought tolerant and low in maintenance.

STREET TREE REQUIREMENTS FILING 13

- Street Trees required at 35 feet o.c. spacing : 863
- Street Trees provided : 873

TOTAL TREE QUANTITIES

EVERGREEN	839
DECIDUOUS	1,324
ORNAMENTALS	191



1 - SINGLE FAMILY DETACHED LANDSCAPE PLAN (EXAMPLE)

Scale: NTS

PLANT PALETTE

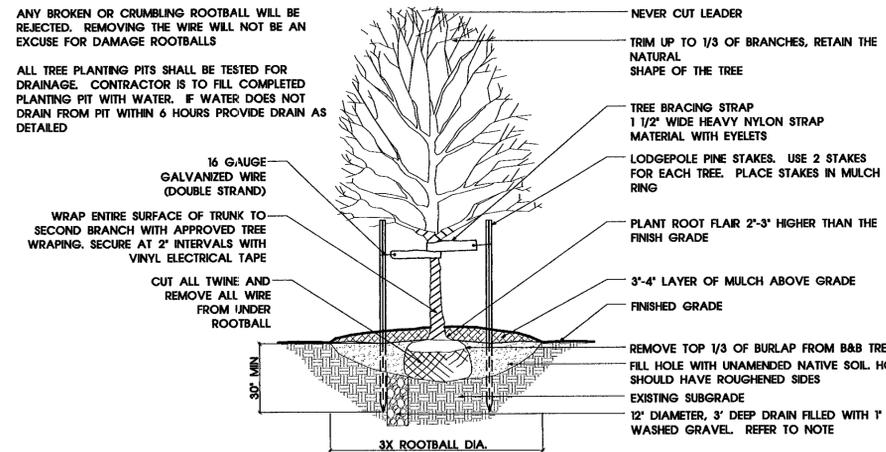
ORNAMENTAL TREES					
NAME	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ACGL	54	Acer glabrum	Rocky Mountain Maple	2.5" cal (B&B)	Per Plan
AGAB	35	Amelanchier grandiflora 'Autumn brilliant'	Autumn Brilliant Serviceberry	2.5" cal (B&B)	Per Plan
AMAL	18	Amelanchier alnifolia	Saskatoon Serviceberry	2.5" cal (B&B)	Per Plan
AMCA	8	Amelanchier canadensis	Shadblow Serviceberry	2.5" cal (B&B)	Per Plan
CRCI	40	Crataegus crus-galli 'inermis'	Thornless Cockspur Hawthorn	2.5" cal (B&B)	Per Plan
MASS	36	Malus 'Spring Snow'	Spring Snow Crabapple	2.5" cal (B&B)	Per Plan
DECIDUOUS TREES					
NAME	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ACFJ	239	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5" cal (B&B)	Per Plan
ACSA	4	Acer saccharinum	Silver Maple	2.5" cal (B&B)	Per Plan
APEL	38	Acer platanoides 'Emerald Luster'	Emerald Maple	2.5" cal (B&B)	Per Plan
ASGM	200	Acer saccharinum 'Green Mountain'	Green Mountain Sugar Maple	2.5" cal (B&B)	Per Plan
CABF	8	Carpinus betulus fastigiata	European Hornbeam	2.5" cal (B&B)	Per Plan
CEOC	33	Celtis occidentalis	Western Hackberry	2.5" cal (B&B)	Per Plan
FAAP	251	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	2.5" cal (B&B)	Per Plan
FRPP	35	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	2.5" cal (B&B)	Per Plan
FRPS	2	Fraxinus pennsylvanica 'Summit'	Summit Ash	2.5" cal (B&B)	Per Plan
GTIS	23	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.5" cal (B&B)	Per Plan
POAC	4	Populus x accuminata	Lanceleaf Cottonwood	2.5" cal (B&B)	Per Plan
POSA	20	Populus sargentii	Plains Cottonwood	2.5" cal (B&B)	Per Plan
QUBI	29	Quercus bicolor	Swamp White oak	2.5" cal (B&B)	Per Plan
QURB	20	Quercus rubra 'Borealis'	Northern Red Oak	2.5" cal (B&B)	Per Plan
QURO	253	Quercus robur	English Oak	2.5" cal (B&B)	Per Plan
QURO-4	3	Quercus robur	English Oak	4.0" cal (B&B)	Per Plan
TIAR	13	Tilia americana 'Redmond'	Redmond Linden	2.5" cal (B&B)	Per Plan
TICG	149	Quercus robur	English Oak	2.5" cal (B&B)	Per Plan

NOTES:

REMOVE ALL TREATED OR PLASTIC COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL AFTER SETTING IN HOLE. CUT AWAY TOP AND SIDES OF WIRE BASKET, IF ANY.

ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGE ROOTBALLS

ALL TREE PLANTING PITS SHALL BE TESTED FOR DRAINAGE. CONTRACTOR IS TO FILL COMPLETED PLANTING PIT WITH WATER. IF WATER DOES NOT DRAIN FROM PIT WITHIN 6 HOURS PROVIDE DRAIN AS DETAILED



2 - DECIDUOUS TREE PLANTING DETAIL

Scale: NTS

EVERGREEN TREES

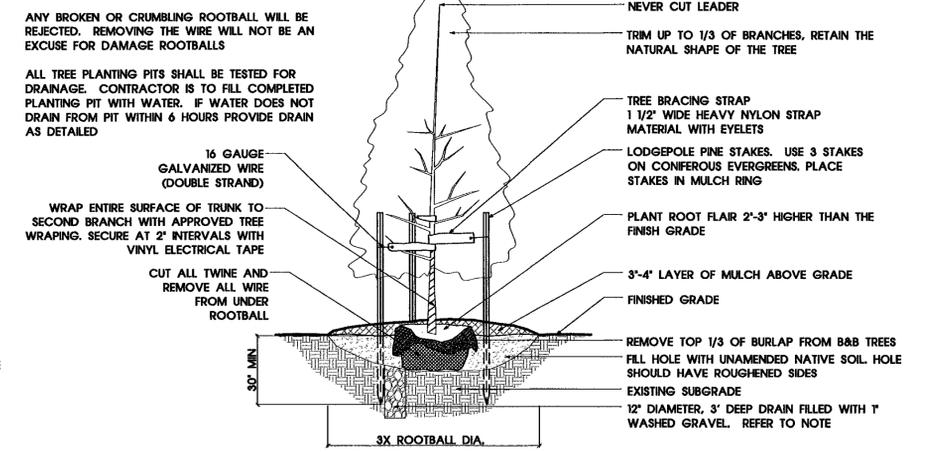
NAME	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PIED8	13	Pinus edulis	Pinon Pine	8' Ht. (B & B)	Per Plan
PINN8	67	Pinus nigra	Austrian Pine	8' Ht. (B & B)	Per Plan
PINN10	83	Pinus nigra	Austrian Pine	10' Ht. (B & B)	Per Plan
PIPO8	65	Pinus ponderosa	Pondrosa Pine	8' Ht. (B & B)	Per Plan
PIPO10	69	Pinus ponderosa	Pondrosa Pine	10' Ht. (B & B)	Per Plan
PIPU8	99	Picea pungens	Colorado Blue Spruce	8' Ht. (B & B)	Per Plan
PIPU10	144	Picea pungens	Colorado Blue Spruce	10' Ht. (B & B)	Per Plan
PIST8	76	Pinus strobiformis	Southwestern White Pine	8' Ht. (B & B)	Per Plan
PIST10	90	Pinus strobiformis	Southwestern White Pine	10' Ht. (B & B)	Per Plan
PISY8	67	Pinus sylvestris	Scots Pine	8' Ht. (B & B)	Per Plan
PISY10	66	Pinus sylvestris	Scots Pine	10' Ht. (B & B)	Per Plan

NOTES:

REMOVE ALL TREATED OR PLASTIC COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL AFTER SETTING IN HOLE. CUT AWAY TOP AND SIDES OF WIRE BASKET, IF ANY.

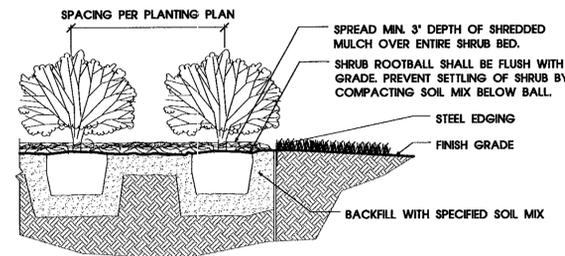
ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGE ROOTBALLS

ALL TREE PLANTING PITS SHALL BE TESTED FOR DRAINAGE. CONTRACTOR IS TO FILL COMPLETED PLANTING PIT WITH WATER. IF WATER DOES NOT DRAIN FROM PIT WITHIN 6 HOURS PROVIDE DRAIN AS DETAILED



3 - EVERGREEN TREE PLANTING DETAIL

Scale: NTS



4 - SHRUB PLANTING DETAIL

Scale: NTS

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10/04/05	CITY REVIEW
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03/14/06	
04/11/06	
04/27/06	





Future
 Development
 Filing 15

LEGEND

- SDP BOUNDARY
- o-o-o-o-o-o-o-o-o-o 6' SOFT SURFACE TRAIL
- 6' TRAIL/SIDEWALK
- 8' TRAIL/SIDEWALK
- 10' EXISTING TRAIL

1 - PEDESTRIAN CONNECTIVITY DIAGRAM
 NTS

ISSUE DATE:	09/20/05	OWNER REVIEW
	10/04/05	CITY REVIEW
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	03/14/06	
	04/11/06	
	04/27/06	



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Filing 13 SDP Submittal Residential Design Standards

1. Architectural Character/Style

Principle: Create regional architectural styles designed to complement Colorado's rich architectural heritage and reflect the different regions that represent Colorado's front-range and mountain west environment: from the mountains and foothills, to the plains and prairie.

Standards:

- Homes within Neighborhood 1A shall be designed to feature three distinct architectural styles including Mountain, Woodland, and Craftsman architecture. Some of the key building components and finish materials that will characterize these styles include the following:
 - Mountain Style:
 - stucco and stone wall planes
 - porches with decorative stone piers and wood columns
 - ornamental window shutters
 - Woodland Style:
 - vertical board and batten siding combined with stone
 - wood brackets and bracing
 - stone-finished building elements
 - stone wainscot/foundations
 - Craftsman Style:
 - stucco walls with stone wainscot
 - porches battered box columns
 - brackets that support overhanging eaves
 - grouped windows

2. Streetscape Diversity

Principle: Create homes that promote variety and are compatible with other neighborhood dwellings. Design garages to create streetscape variety and visual interest. Integrate the garage with the home and minimize the garage door impact on the street-facing elevation.

Standards:

a. Floor Plans and Elevations:

- Building floor plans and elevations shall be varied, based upon the following requirements:
 - Adjacent or opposing lots shall have neither the same building elevation (mirrored or standard) nor the same color package. To apply this rule, the side property lines shall be extended (at the same bearing) across the public right-of-way. If any portion of a lot on the opposite side of the right-of-way falls within the extended lines, it shall be restricted as noted.
 - The same floor plan (mirrored or standard) shall not be constructed on more than two lots in a row. When the same floor plan is constructed on adjacent lots, a different elevation shall be required.
 - A minimum of one half (50 percent) of the homes constructed shall have a front porch.
 - In addition to meeting the front setback, every third home fronting onto the same street will be placed a minimum of 2' (forward or backward) to achieve visual relief and variety in the street scene. This front placement variation does not apply where the home is served off of a bulb or cul-de-sac or when the street is sufficiently curvilinear (300 foot radius or less).

b. Garages:

- Homes shall provide "front-loaded," "side loaded" or a "courtyard" configuration of garage that will, in combination, help to mitigate the impact of the garages along the street. A minimum of 80% of homes will be constructed with alternative garages.
- Garage doors shall be recessed a minimum of eight inches from the garage face.
- No front-loaded garage shall exceed two (2) bays in length, without an articulation of the exterior wall planes a minimum of two-foot. Side loaded garages shall incorporate a minimum one-foot offset for the third garage bay.
- Garage doors shall be designed to include wood trim, decorative panels, windows, and other architectural embellishments to provide shadow lines, depth, and detail. Such garage door treatments shall vary based on the homes' architectural style.
- Windows, compatible with the home's architectural style, shall be located on front/street-facing elevations for all side-loaded garages.

3. Building Massing and Form

Principle: Design homes to mass towards the center, such that a home's second-story appears lighter, with less bulk, than the first story.

Standards:

- A home's front elevation shall rest on a distinguishable building base or pedestal consisting of a ground-floor masonry wainscoting including stone, brick and/or stucco.
- A home's front elevation shall incorporate single-story building elements, such as recessed entries or covered porches as transitional elements to larger second-story building volumes.
- Attached garages shall not be the prominent feature of the structure. For one-story homes, no more than 60% of the street elevation's wall plane can be dedicated to the garage. This does not apply to side or courtyard-load garages.
- For two-story homes, no more than 50% of the street elevation's wall plane can be dedicated to the garage. This does not apply to side or courtyard-load garages.

4. Roof Form

Principle: Create a visible main-body roof form complemented with smaller roof planes or elements. Minor roof elements such as gable ends and dormers shall be proportional to the spaces they cover and to the overall roof size and form.

Standards:

- There shall be a variation of roof styles and forms compatible with the architectural style of the home.
- The minimum roof overhang (for all main-body roof forms) shall be 12 inches, but more than 12-inches shall not encroach into the setbacks.
- All roof vents, flues, flashing, etc. shall be painted to match the roof color.

5. Recessed Entries, Covered Porches, and Decks

Principle: Utilize single story building volumes, such as recessed entries, covered porches and decks to help soften the building façade and act as transitional elements to larger-scaled building volumes. Design entries, porches and decks that complement the home's architectural style.

Standards:

a. Recessed Entries and Covered Porches:

- A recessed entry or covered porch shall be required for all homes.
- Covered porches shall be a minimum 50 square feet in area and six feet usable depth.

b. Columns, Piers, and Posts

- Columns, piers, and posts shall be visually substantial and capable of supporting the weight of what they hold up, such as covered porches. To that end, dimensional wood posts shall be a minimum size of eight-inches square (grouped posts of 2 or 3 may be a minimum of 4-inches square); masonry piers shall be a minimum 18-inches square; and the base of battered box columns shall be a minimum of 18-inches square.

c. Rear-Yard Elevated Decks (located above 30-inches from finished grade):

- Elevated decks above 30-inches from finished grade shall be compatible with the architectural style of the home and not left to weather naturally. Vertical deck elements such as balustrades, railing, columns, posts and staircases shall be painted or stained to match, and be compatible with, the colors of the main structure. The colors shall be approved by the HOA ACC prior to submitting a permit.
- Elevated decks at the main floor level of walk-out or garden level lots, that are adjacent to public streets or open lands, shall be constructed using masonry piers/columns with 18-inch minimum dimension, consistent with the main structure.
- Second story decks (above the main floor level) must be integrated into the architectural style of the home through the use of compatible material and colors as well as forms or details of the principal structure. See Elevations.

6. Façade Articulation

Principle: Design homes to avoid long expanses of blank walls and windowless elevations. A home shall use building elements, such as plane breaks and building projections that help segment the building mass into smaller building elements, and break-up large expanse of blank wall.

Standards:

a. Wall Articulation (Front Elevations)

- Front Elevations shall provide the following minimum wall plane articulation requirements:
 - One Story Homes – Two horizontal or vertical wall planes (separated by a minimum of two feet)
 - Two Story Homes – Three horizontal or vertical wall planes (separated by a minimum of two feet)

b. Building Projections

- Cantilevered building projections, such as bay windows or fireplace box outs, shall project a minimum of 18 inches from the façade surface.
- Cantilevered projections shall be supported by decorative corbels, brackets, or trim boards.

7. Windows and Doors

Principle: Use windows and doors that are composed of smaller human-scaled elements and ornamentations, dimensioned to express vertical proportions. Orchestrate the placement of windows and doors on building elevations to create proportionate, balanced, and rhythmic compositions.

Standards:

a. Windows

- A home's window design, including style, proportion, and detailing shall be compatible with the overall architectural style and elevation.
- Horizontal window openings located on front elevations shall be divided by mullions into a group or series of vertically-oriented windows.
- All street-facing windows shall use muntins (window grids) to divide windows into individual-appearing windowpanes.
- Window openings in masonry walls shall be recessed a minimum of two-inches.
- Window shutters should appear visually functional, capable of covering window openings, excluding grouped windows of two or more.

- All windows visible from public streets and/or open lands (other than special transom/overhead windows) shall be vertically-oriented, with the vertical dimension being greater than, or equal to, the horizontal dimension. Horizontal windows may be used on side elevations where shown and/or for a bathroom window to preserve privacy.

- Windows (on front and rear elevations) shall be generally centered on the building mass, and aligned both horizontally and vertically.

- All window openings associated with wood-clad homes shall be trimmed with decorative molding a minimum of four-inches wide.

- Windows shall be "u"-rated, double pane, and vinyl clad.

b. Doors

- All front doors shall be decorative, composed of ornamentation such as recessed or grooved panels, windows, speakeasies, or decorative hardware.

- Sliding glass doors shall only be used on interior side or rear building elevations.

8. Building Elements

Principle: Design building details and ornamentation to reflect the architectural style of the home.

Standards:

Fascia and Trim Details

- Fascia trim shall be a minimum of 4-inches wide.
- Vertical corner trim or corner clips shall be provided on all wood clad homes and as a transition between different siding materials on all inside and outside corners.

9. Building Materials and Color

Principle: Use building materials with rich colors and strong textures, such as brick, stone, and clapboard that create visual depth and detail.

Standards:

a. Wall Materials and Color

- Masonry materials, such as brick, stucco, or stone, shall be used as a prominent material on all front elevations.
- Homes shall be finished with rich, earth-tone colors that reflect the architectural style of the home, providing variety and visual interest to the streetscape.
- Color variety shall relate to changes of materials, such as building base, façade, and roof.

b. Roof Materials and Color

- Strong roof colors shall be used such as, but not limited to, charcoal gray, greenish-gray, forest green, and dark brown to visually terminate the top of the building.
- A varied palette of harmonious roof colors and materials shall be required for Neighborhood 1A. A minimum of three roof colors shall be required along each block of 10 homes or lots in a row.
- Roofing shall be concrete tile with a minimum 30-year manufacturers warranty.

10. Building Material Application

Principle: Encourage flowing material applications, graceful changes in wall materials, and convincing material transitions.

Standards:

a. General

- No less than 50% of structures located on corner lots must incorporate masonry as a prominent building material.
- Each neighborhood should have an accumulative total of no less than 30% of all principal structures that incorporate masonry as a prominent building material.
- Each block of six (6) lots or more shall include at least one structure that incorporates masonry as a prominent building material.
- Siding material shall provide a 30-year manufacturer's warranty.
- Join together different materials in a harmonious fashion. Intermediate building components such as frieze boards, wainscot caps, window sills, belly bands, and corner boards shall be provided as transitional elements between different building materials.

- Material changes should generally be accompanied by a change in wall plane, preferably inside corners. When masonry wall cladding material occurs at the outside corner of a front elevation, the masonry shall wrap the corner a minimum of two feet, or terminate on an inside corner of a building element on the side elevation.

- Building siding or masonry materials shall cover building foundation walls to within 12-inches of the ground plane.

- On sloping sites that are accompanied by a walkout and garden level elevations, siding and/or masonry shall extend to within 18-inches of the ground plane.

b. Enhanced Side and Rear Elevations Visible From Public View

- Side and rear building elevations, adjacent to arterials, connectors, neighborhood streets and open lands should be enhanced through the use of architectural elements and embellishments compatible with the front elevation of the house. Such embellishments should, as a minimum, include brick or stone masonry wainscot as carried over from the front elevation of the house.

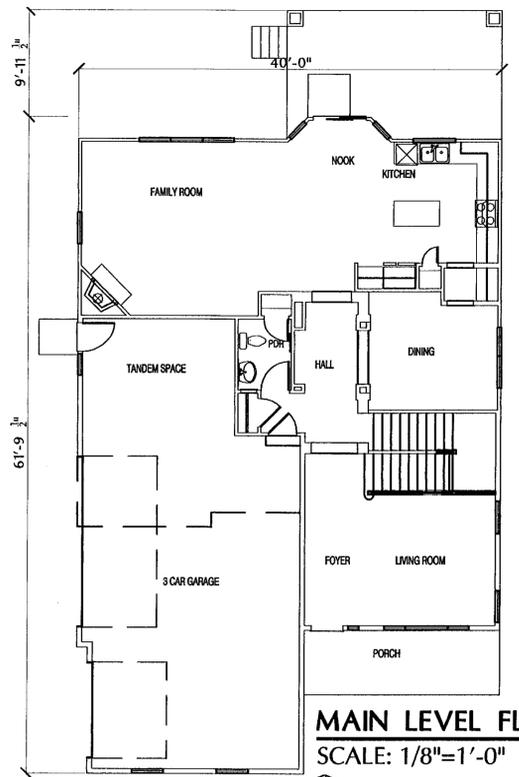


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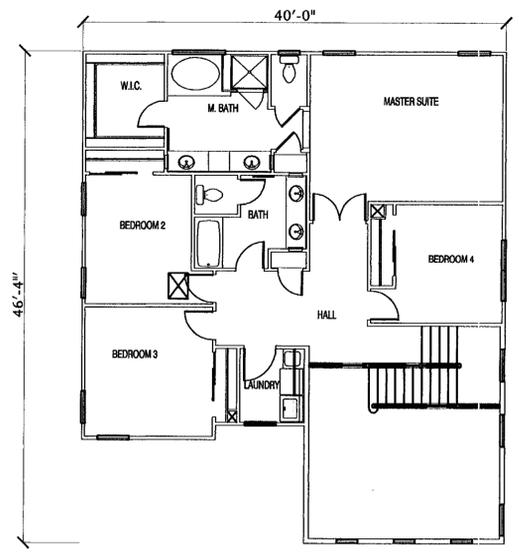


DURANGO - WOODLAND STYLE ARCHITECTURE

**TWO STORY WITH 3-CAR SIDE-LOADED GARAGE
2,421 SQUARE FEET**



MAIN LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



SECOND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



FRONT ELEVATION - 48% MASONRY
SCALE: 1/8"=1'-0"

Parkside Collection - (40 - FOOT WIDE HOMES)

The Parkside Collection includes homes that are 40-foot wide on 70-foot wide lots. These homes range in square footage of 2,091 to 2,605. This series includes 4 distinct floor plans (one ranch plan and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevation represented here is a representative of the Durango floor plan shown in the Woodland Style Architecture.



LEFT SIDE ELEVATION - 8% MASONRY
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION - 16% MASONRY
SCALE: 1/8"=1'-0"



REAR ELEVATION - 0% MASONRY
SCALE: 1/8"=1'-0"



REAR DAYLIGHT ELEVATION - 4% MASONRY
SCALE: 1/8"=1'-0"



ENHANCED LEFT SIDE ELEVATION - 21% MASONRY
SCALE: 1/8"=1'-0"



ENHANCED RIGHT SIDE ELEVATION - 32% MASONRY
SCALE: 1/8"=1'-0"



ENHANCED REAR ELEVATION - 16% MASONRY
SCALE: 1/8"=1'-0"



ENHANCED REAR DAYLIGHT ELEVATION - 29% MASONRY
SCALE: 1/8"=1'-0"



REAR WALKOUT ELEVATION - 5% MASONRY
SCALE: 1/8"=1'-0"



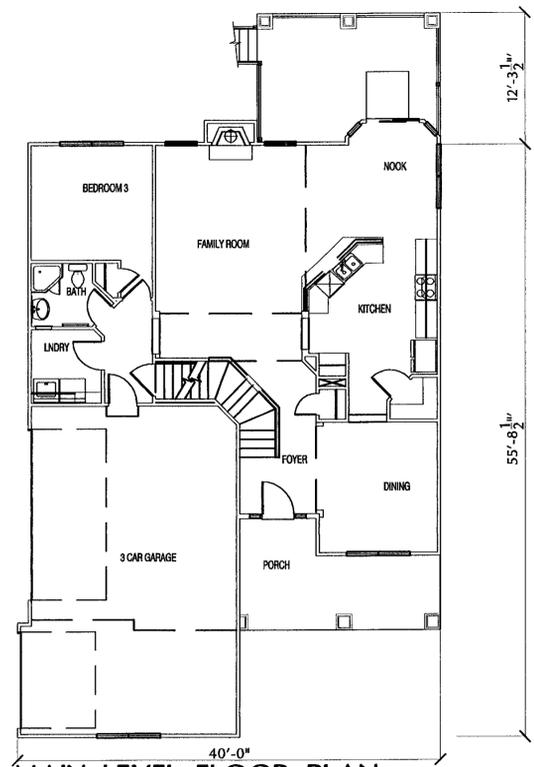
ENHANCED REAR WALKOUT ELEVATION - 14% MASONRY
SCALE: 1/8"=1'-0"

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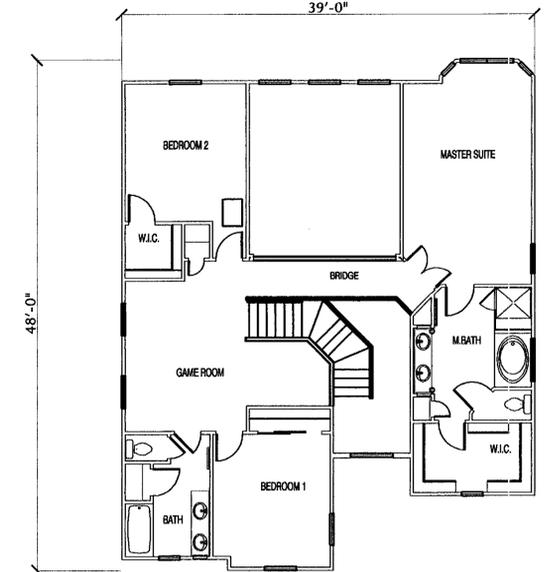
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DILLON - CRAFTSMAN STYLE ARCHITECTURE
TWO STORY WITH 3-CAR SIDE-LOADED GARAGE
2,983 SQUARE FEET



MAIN LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



SECOND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



FRONT ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"

Parkside Collection - (40 - FOOT WIDE HOMES)

The Parkside Collection includes homes that are 40-foot wide on 70-foot wide lots. These homes range in square footage of 2,091 to 2,983. This series includes 4 distinct floor plans (one ranch plan and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevation represented here is a representative of the Dillon floor plan shown in the Craftsman Style Architecture.



RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



REAR ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



REAR DAYLIGHT ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



ENHANCED RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



ENHANCED REAR ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



ENHANCED REAR DAYLIGHT ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



ENHANCED LEFT SIDE ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



REAR WALKOUT ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"



ENHANCED REAR WALKOUT ELEVATION - 100% MASONRY/STUCCO
SCALE: 1/8"=1'-0"

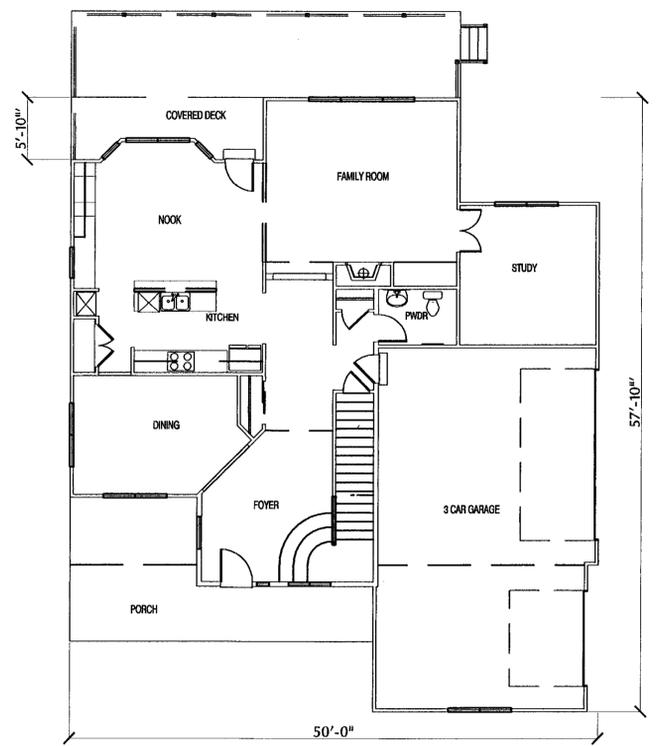
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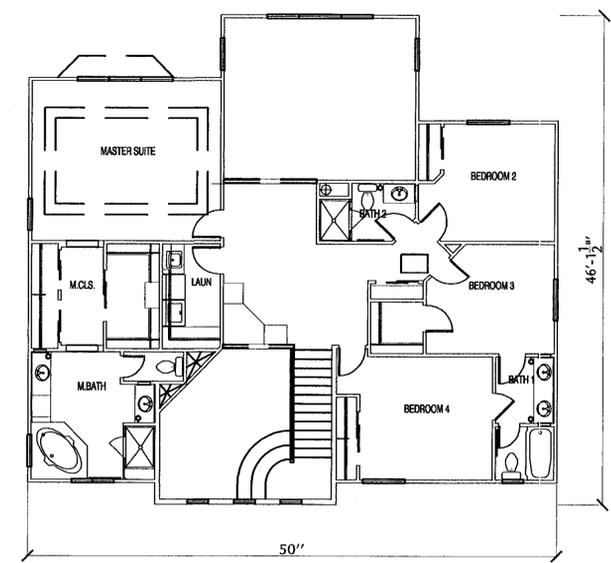
TELLURIDE - MOUNTAIN STYLE ARCHITECTURE

TWO STORY WITH 3-CAR SIDE-LOADED GARAGE
2,983 SQUARE FEET



MAIN LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"



FRONT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"

Waterfront Collection - (50 - FOOT WIDE HOMES)

The Waterfront Collection includes homes that are 50-foot wide on 80-foot wide lots. These homes range in square footage of 2,715 to 3,456. This series includes 4 distinct floor plans (one ranch plan and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevation represented here is a representative of the Telluride floor plan shown in the Mountain Style Architecture.



LEFT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED LEFT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



REAR ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED REAR ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



REAR DAYLIGHT ELEVATION -

SCALE: 1/8"=1'-0" 100% MASONRY/STUCCO



ENHANCED REAR DAYLIGHT ELEVATION -

SCALE: 1/8"=1'-0" 100% MASONRY/STUCCO



REAR WALKOUT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED REAR WALKOUT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"

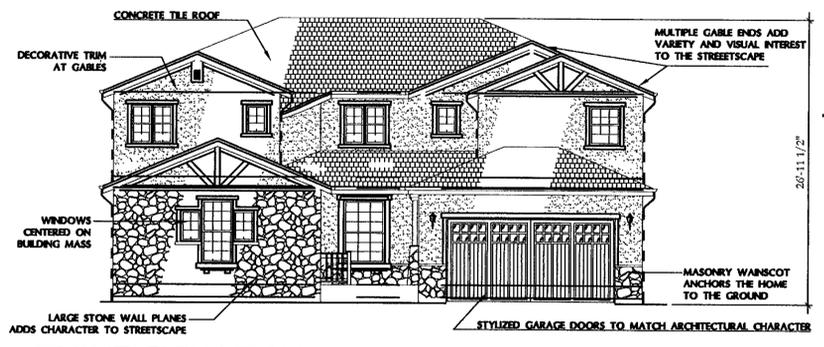
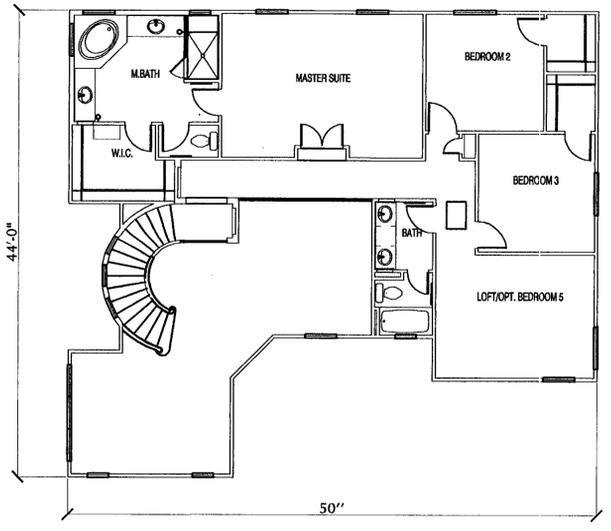
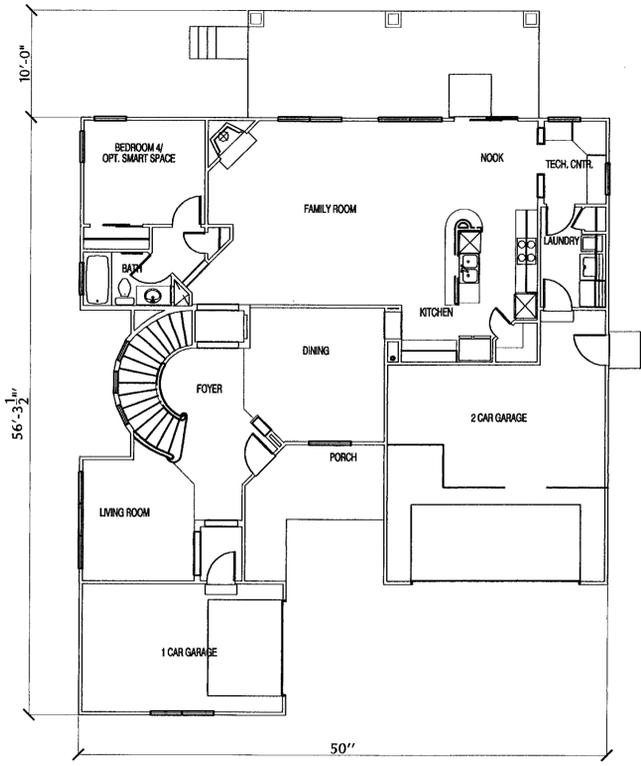
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SOLVISTA - MOUNTAIN STYLE ARCHITECTURE

TWO STORY WITH 3-CAR GARAGE COURTYARD
2,807 SQUARE FEET

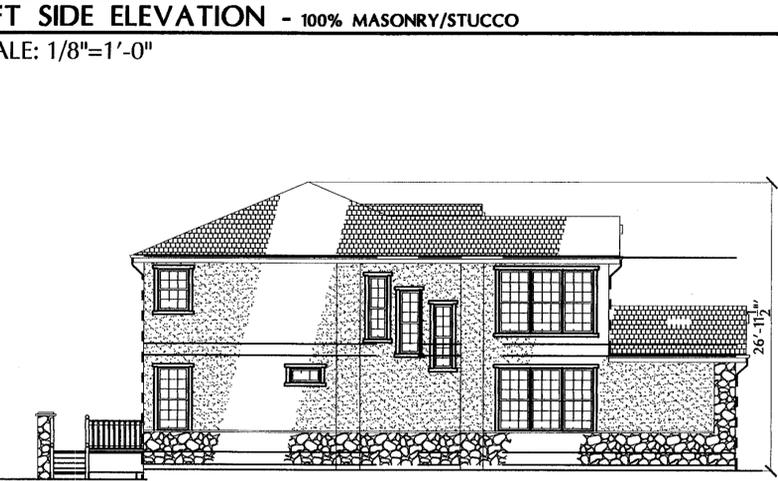


FRONT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"

Waterfront Collection - (50 - FOOT WIDE HOMES)

The Waterfront Collection includes homes that are 50-foot wide on 80-foot wide lots. These homes range in square footage of 2,715 to 3,456. This series includes 4 distinct floor plans (one ranch plan and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevation represented here is a representative of the Sol Vista floor plan shown in the Mountain Style Architecture.



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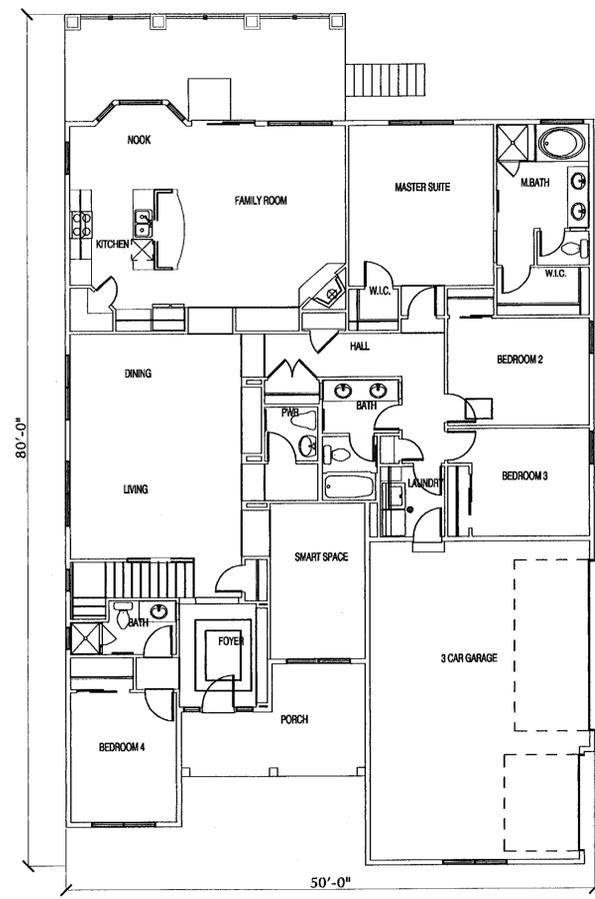
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Waterfront Collection - (50 - FOOT WIDE HOMES)

The Waterfront Collection includes homes that are 50-foot wide on 80-foot wide lots. These homes range in square footage of 2,715 to 3,456. This series includes 4 distinct floor plans (one ranch plan and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevation represented here is a representative of the Monarch floor plan shown in the Craftsman Style Architecture.

MONARCH - CRAFTSMAN STYLE ARCHITECTURE

ONE STORY WITH 3-CAR SIDE LOADED GARAGE
2,508 SQUARE FEET



MAIN LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"



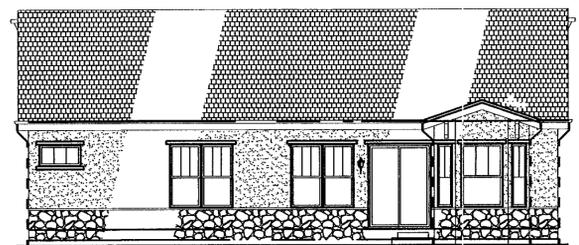
FRONT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



REAR ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED REAR ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



REAR DAYLIGHT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED REAR DAYLIGHT ELEVATION -

SCALE: 1/8"=1'-0" 100% MASONRY/STUCCO



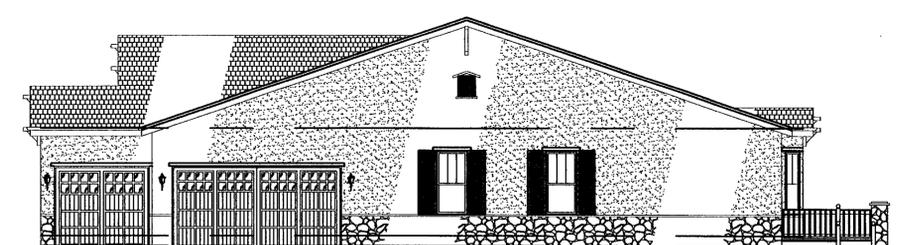
LEFT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED RIGHT SIDE ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED LEFT SIDE ELEVATION -

SCALE: 1/8"=1'-0" 100% MASONRY/STUCCO



REAR WALKOUT ELEVATION - 100% MASONRY/STUCCO

SCALE: 1/8"=1'-0"



ENHANCED REAR WALKOUT ELEVATION -

SCALE: 1/8"=1'-0" 100% MASONRY/STUCCO

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PARKSIDE COLLECTION - (40 - FOOT WIDE HOMES)

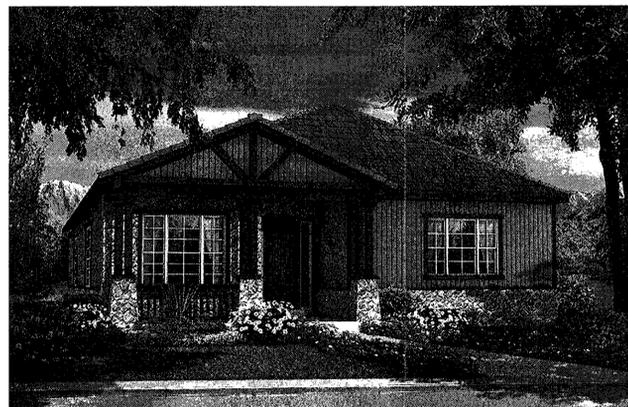
The Parkside Collection includes homes that are 40-foot wide on 70-foot wide lots. These homes range in square footage from 2,091 to 2,983. This series includes 4 distinct floor plans (one ranch and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevations shown here are representative of the Frisco, Durango, Dillon, and Glenwood floor plans.

2006010214 08/07/2006 12:24P DP
31 of 32 R 0.00 D 0.00 City&Cnty Broomfield

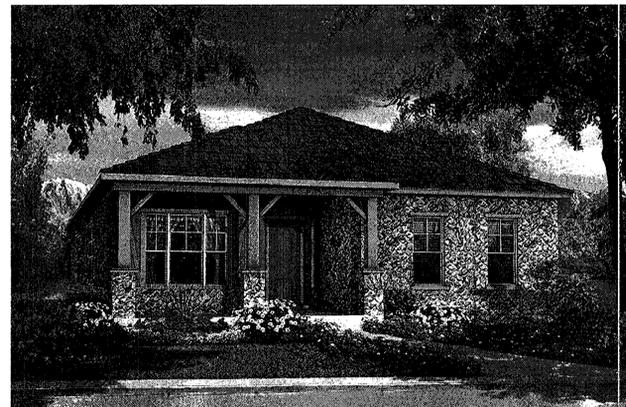
ANTHEM COLORADO
AT BROOMFIELD
FILING NO. 13
NEIGHBORHOOD 1A
SITE DEVELOPMENT PLAN

Parkside Collection - Architecture
SHEET 31 OF 32

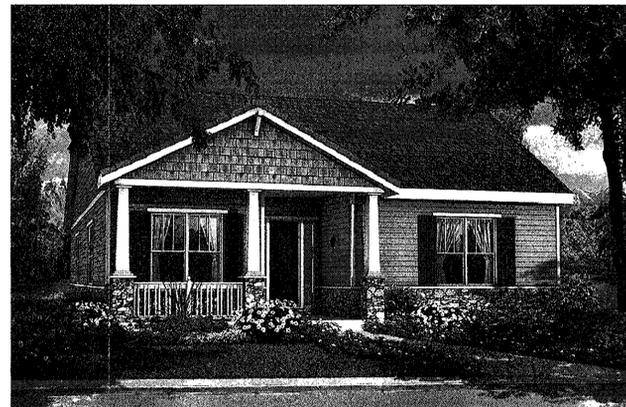
FRISCO - One story with 2 1/2 car side-loaded garage 2,109 square feet



MOUNTAIN STYLE



WOODLAND STYLE



CRAFTSMAN STYLE

GLENWOOD - Two story with 3-car garage 2,414 square feet



MOUNTAIN STYLE

DURANGO - Two story with 3-car side-loaded garage 2,421 square feet



MOUNTAIN STYLE



WOODLAND STYLE



CRAFTSMAN STYLE



WOODLAND STYLE

DILLON - Two story with 3-car side-loaded garage 2,983 square feet



MOUNTAIN STYLE



WOODLAND STYLE



CRAFTSMAN STYLE



CRAFTSMAN STYLE

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	04/27/06	



DATE: 04/27/06
PROJECT NUMBER 050714-PTPC
PARKSIDE COLLECTION AD-1 - SHEET 31

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WATERFRONT COLLECTION - (50 - FOOT WIDE HOMES)

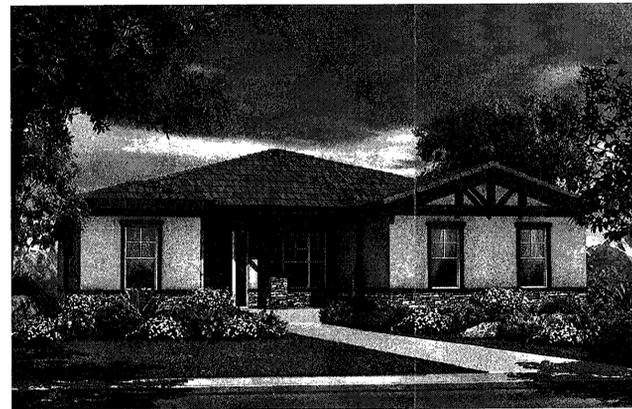
The Waterfront Collection includes homes that are 50-foot wide on 80-foot wide lots. These homes range in square footage from 2,715 to 3,456. This series includes 4 distinct floor plans (one ranch and 3 two-story plans). Each floor plan is available in 3 distinctly different elevations. Each elevation incorporates regional architectural styles that are designed to complement Colorado's rich heritage, including Mountain, Woodland and Craftsman. The architectural elevations shown here are representative of the Monarch, Sol Vista, Telluride, and Silverton.

2006010214 08/07/2006 12:24P DP
32 of 32 R 0.00 D 0.00 City&Cnty Broomfield

ANTHEM COLORADO
AT BROOMFIELD
FILING NO.13
NEIGHBORHOOD 1A
SITE DEVELOPMENT PLAN

Waterfront Collection - Architecture
SHEET 32 OF 32

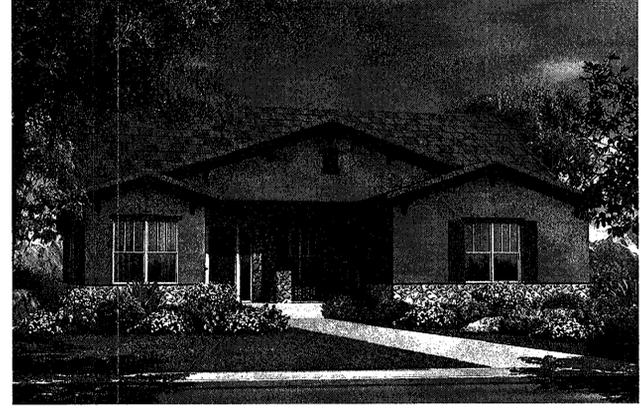
MONARCH - One story with 3-car side-load garage 2,508 square feet



MOUNTAIN STYLE



WOODLAND STYLE



CRAFTSMAN STYLE

SILVERTON - One story with 3-car side-loaded garage 2,508 square feet



MOUNTAIN STYLE

SOL VISTA - Two story with 3-car garage courtyard 2,807 square feet



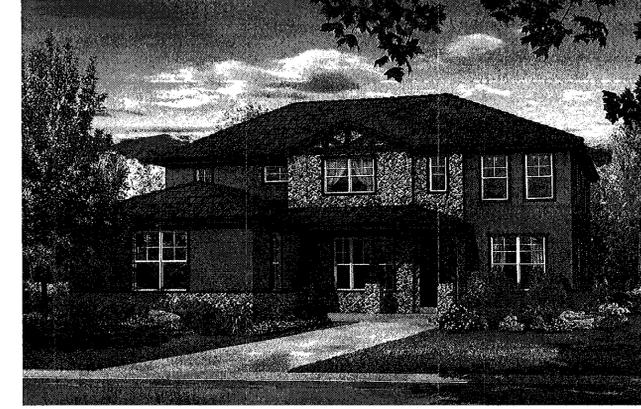
MOUNTAIN STYLE



WOODLAND STYLE

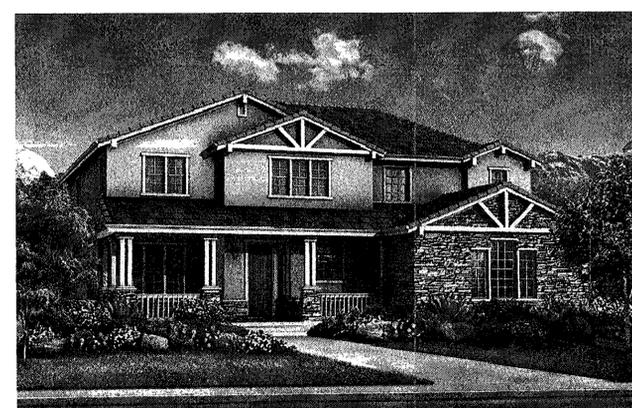


CRAFTSMAN STYLE



WOODLAND STYLE

TELLURIDE - Two story with 3-car side-loaded garage 2,983 square feet



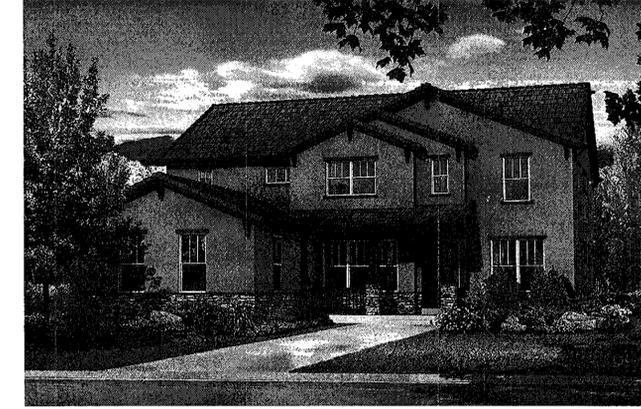
MOUNTAIN STYLE



WOODLAND STYLE



CRAFTSMAN STYLE



CRAFTSMAN STYLE

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PROJECT NUMBER 050714-PTPC
WATERFRONT COLLECTION AD-2 - SHEET 32

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